

AC	ASPHALT	PLTR	PLANTER
APN	ASSESSOR PARCEL NUMBER	PL	PROPERTY LINE
BFP	BACK FLOW PREVENTOR	SQ. FT.	SQUARE FEET
B	BOLLARD	SD	STORM DRAIN MANHOLE
BLDG	BUILDING	SSCM	SANITARY SEWER CLEANOUT
BLSD	BUILDING SETBACK LINE	SSM	SANITARY SEWER MANHOLE
CB	CATCH BASIN	TEL	TELEPHONE
CONC	CONCRETE	TRANS	TRANSFORMER
CP	CONCRETE PAD	TSB	TRAFFIC SIGNAL BOX
DWY	DRIVEWAY	VT	VAULT
EB	ELECTRICAL BOX	WV	WATER METER
EC	ELECTRICAL CABINET	WV	WATER VALVE
EV	ELECTRICAL VAULT	YL	YARD LIGHT
FC	FACE OF CURB	④	DENOTES ENCROACHMENTS
GM	GAS METER	①	CORRESPONDS TO SCHEDULE B
MH	MANHOLE		



(IN FEET)
1 inch = 20 ft.

25 REGULAR STALLS
2 HANDICAP STALLS
27 TOTAL STALLS

BUILDING	AREA
315 EAST CENTER ST.	7,266 SQ. FT.
PORTABLE BUILDING 1	1,439 SQ. FT.
PORTABLE BUILDING 2	1,434 SQ. FT.
PORTABLE BUILDING 3	1,011 SQ. FT.
205 N. SHERMAN AVE	2,499 SQ. FT.
TOTAL	13,649 SQ. FT.

TITLE ITEMS PER SCHEDULE "B" OF THE PRELIMINARY TITLE REPORT BY FIDELITY NATIONAL
TITLE COMPANY ORDER NO. 9728475 DATED DECEMBER 9, 2004 AT 7:30 A.M.

⑤ 30' CANAL EASEMENT PER 18 ROS 125 (PLOTTED)

TITLE ITEMS PER SCHEDULE "B" OF THE PRELIMINARY TITLE REPORT BY FIDELITY NATIONAL
TITLE COMPANY ORDER NO. 9728474 DATED JULY 21, 2004 AT 7:30 A.M.

⑤ 30' CANAL EASEMENT PER 18 ROS 125 (PLOTTED)

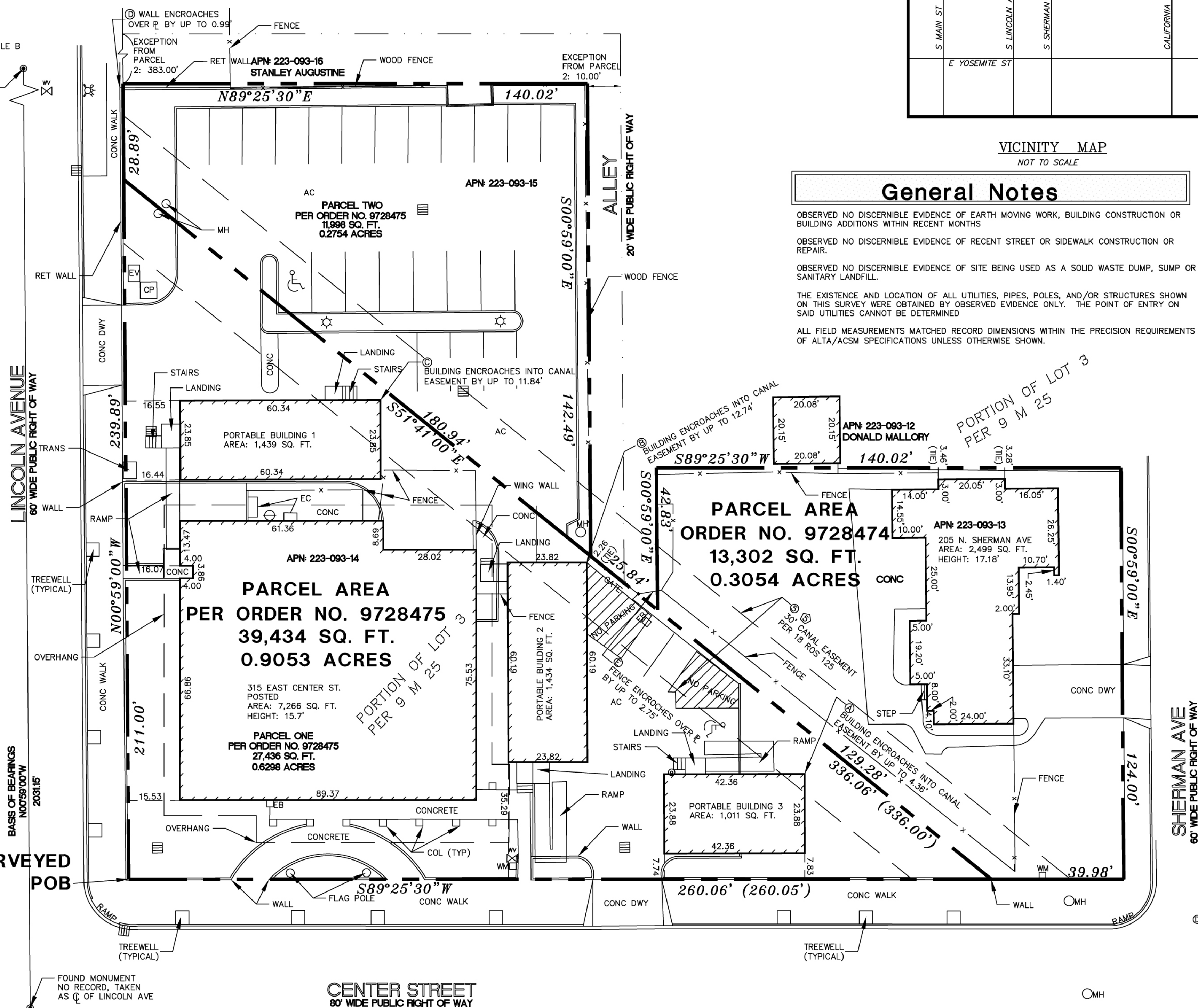
THE ZONING INFORMATION WAS PROVIDED BY THE CITY OF MANTECA
COMMUNITY DEVELOPMENT DEPARTMENT
1001 WEST CENTER ST.
MANTECA, CA
95337
TEL: (209)239-8400
WWW.CI.MANTECA.CA.US

ZONE PQP, PUBLIC/QUASI-PUBLIC
SETBACKS
NO STANDARDS
HEIGHT NO STANDARDS
LOT COVERAGE: NO STANDARDS
PARKING NO STANDARDS

PARCEL	AREA	AREA
PARCEL ONE PER ORDER NO. 9728475	27,436 SQ. FT.	0.6298 ACRES
PARCEL TWO PER ORDER NO. 9728475	11,998 SQ. FT.	0.2754 ACRES
PARCEL PER ORDER NO. 9728474	13,302 SQ. FT.	0.3054 ACRES
TOTAL	52,736 SQ. FT.	1.2106 ACRES

C 060299-0615 C, which bears an effective date of 12-05-1989, and is not in a Special Flood Hazard Area. By telephone call on 01-22-2005, to the National Flood Insurance Program (800-638-6620) we have learned this community does not participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

☐ A BUILDING ENCROACHES INTO CANAL EASEMENT BY UP TO 4.36'
☐ B BUILDING ENCROACHES INTO CANAL EASEMENT BY UP TO 12.74'
☐ C BUILDING ENCROACHES INTO CANAL EASEMENT BY UP TO 11.84'
☐ D WALL ENCROACHES OVER P BY UP TO 0.99'
☐ E FENCE ENCROACHES OVER P BY UP TO 2.75'



OBSERVED NO DISCERNIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS

OBSERVED NO DISCERNIBLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

OBSERVED NO DISCERNIBLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

OBSERVED NO DISCERNIBLE EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THE EXISTENCE AND LOCATION OF ALL UTILITIES, PIPES, POLES, AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY OBSERVED EVIDENCE ONLY. THE POINT OF ENTRY ON SAID UTILITIES CANNOT BE DETERMINED

ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE SHOWN.

PARCEL ONE:

A PORTION OF SECTION THIRTY-THREE (33), TOWNSHIP ONE (1) SOUTH, RANGE SEVEN (7) EAST, MOUNT DIABLO BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF BLOCK 3 OF PARK ADDITION TO THE TOWN OF MANTECA, THE MAP OR PLAT OF WHICH IS FILED IN BOOK OF OFFICIAL MAPS AND PLATS, VOLUME 9, PAGE 25, SAN JOAQUIN COUNTY RECORDS, LYING SOUTHERLY OF THE CENTERLINE OF SOUTH SAN JOAQUIN IRRIGATION DISTRICT BRANCH CANAL "TB", SAID PORTION OF BLOCK 3 BEING SHOWN ON MAP OR SURVEY, FILED IN BOOK OF SURVEYS, VOLUME 18, PAGE 125, SAN JOAQUIN COUNTY RECORDS.

ASSESSOR'S PARCEL NO: 223-093-14

PARCEL TWO:

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF MANTECA, COUNTY OF SAN JOAQUIN,
STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF THE WEST HALF (W 1/2) OF BLOCK THREE (3), AS SHOWN UPON MAP ENTITLED PARK ADDITION TO THE TOWN OF MANTECA, FILED FOR RECORD APRIL 17, 1918 IN VOLUME 9 OF MAPS AND PLATS, PAGE 25, SAN JOAQUIN COUNTY RECORDS, LYING NORTH OF THE CENTER LINE OF AN IRRIGATION CANAL OF THE SOUTH SAN JOAQUIN IRRIGATION DISTRICT.

EXCEPT THE NORTH 383 FEET THEREOF.

EXCEPT THE EAST 10 FEET THEREOF.

ASSESSOR'S PARCEL NO: 223-093-15

THIS LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE COMPANY PRELIMINARY REPORT, ORDER NO. 9728475, DATED DECEMBER 09, 2004 AT 7:30 AM.

THE SOUTH ONE HUNDRED TWENTY-FOUR (S 124 FT) OF THE EAST ONE-HALF (E ½) OF BLOCK THREE (3), PARK ADDITION TO THE TOWN OF MANTECA, LYING NORTH OF CENTER LINE OF LATERAL "TB".

EXCEPT THE WEST 10 FEET THEREOF, AS CONVEYED TO THE CITY OF MANTECA BY DEED DATED JULY 6, 1940 AND RECORDED JULY 10, 1940 IN BOOK 705 OF OFFICIAL RECORDS, PAGE 31, SAN JOAQUIN COUNTY RECORDS.

ASSESSOR'S PARCEL NO: 223-093-13

THIS LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE COMPANY PRELIMINARY REPORT, ORDER NO. 9728474, DATED JULY 21, 2004 AT 7:30 AM.

NOTE: ALL FIELD MEASUREMENTS ARE WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM LAND TITLE SURVEY SPECIFICATION.

BEGINNING AT A POINT, SAID POINT BEING THE SOUTHWESTERLY CORNER OF ALL THAT PORTION OF BLOCK 3 OF PARK ADDITION TO THE TOWN OF MANTECA, THE MAP OR PLAT OF WHICH IS FILED IN BOOK OF OFFICIAL MAPS AND PLATS, VOLUME 9, PAGE 25, SAN JOAQUIN COUNTY RECORDS, LYING THEREIN, AND BEING THE SOUTHWEST CORNER OF SAID PORTION OF BLOCK 3, BEING THE SOUTHWEST CORNER OF SAID PORTION OF BLOCK 3 BEING SHOWN ON MAP OR SURVEY, FILED IN BOOK OF SURVEYS, VOLUME 18, PAGE 125, SAN JOAQUIN COUNTY RECORDS, THENCE FROM SAID POINT OF BEGINNING NORTH 00°59'00" WEST 239.89 FEET; THENCE NORTH 89°25'30" EAST 140.02'; THENCE SOUTH 00°59'00" EAST 140.02'; THENCE SOUTH 89°25'30" WEST 260.60 FEET; THENCE SOUTH 00°59'00" WEST 42.14'; THENCE NORTH 89°25'30" EAST 140.02 FEET; THENCE SOUTH 00°59'00" EAST 124.00 FEET; THENCE SOUTH 89°25'30" WEST 260.60 FEET TO THE POINT OF BEGINNING.

THIS LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE COMPANY PRELIMINARY REPORTS, ORDER NO. 9728475, DATED DECEMBER 09, 2004 AT 7:30 AM AND ORDER NO. 9728474, DATED JULY 21, 2004 AT 7:30 AM.

FOR
SAN JOAQUIN
MANTECA BRANCH COURT
315 EAST CENTER STREET & 205 NORTH SHERMAN AVENUE, MANTECA, CA 95336

TO: FIDELITY NATIONAL TITLE COMPANY OF CALIFORNIA; COUNTY OF SAN
JOAQUIN, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA;
(PARTIES TO BE NAMED LATER); AND BOCK & CLARK CORPORATION.

THE UNDERSIGNED CERTIFIES THAT TO THE BEST OF HIS PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE ON THE DATE SHOWN HEREIN, AND THE SURVEY WAS MADE IN ACCORDANCE WITH THE NATIONAL TITLE COMPANY COMMITMENT NO. 97284745 DATED DECEMBER 9, 2004 AT 7:30 AM, AND WAS MADE (I) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" (NINTH EDITION, 1999), (II) IN ACCORDANCE WITH THE NSPS IN 1999; (III) IN ACCORDANCE WITH THE "AGREEMENT AND SURVEY REQUIREMENTS FOR SAN JOAQUIN SURVEYS DATED 12/1/2004," AND INCLUDES ITEMS 2, 3, 4, 6, 7A, 7B1, 7C, 8, 9, 10 & 11A OF TABLE A SPECIFICALLY DEFINED THEREIN, AND (III) PURSUANT TO THE ACCURACY STATEMENT AS REQUIRED BY THE ALTA/ACSM STANDARD. THE UNDERSIGNED ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM RANGE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS TO CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS".

DIRK C. SLOOTEN
REGISTRATION NO. LS5342
WITHIN THE STATE OF CA
DATE OF SURVEY: JANUARY 22, 2005
DATE OF LAST REVISION: FEBRUARY 17, 2005
DATE PRINTED: _____
NETWORK PROJECT NO. 20041301/2

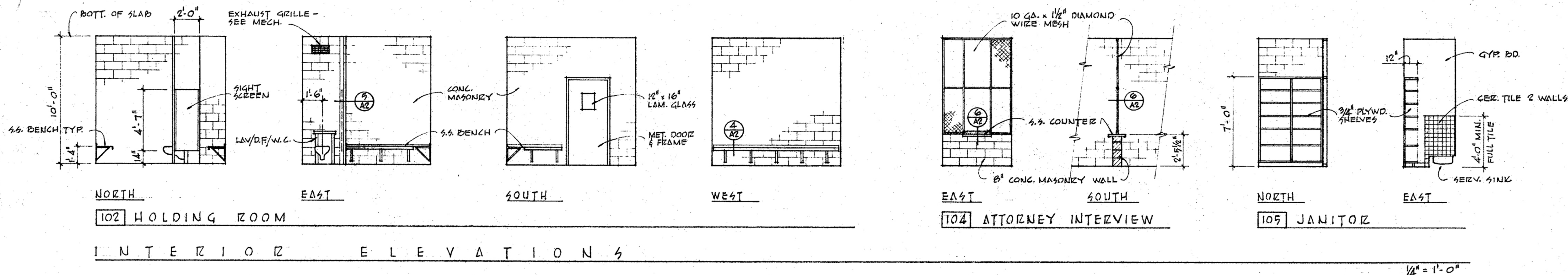
SURVEY PREPARED BY:

SLOOTEN CONSULTING, INC.
4740 NORTHCATE BLVD., SUITE 115
SACRAMENTO, CA 95834
PHONE: 916-641-7570
FAX: 916-641-7572

COPYRIGHT 2005
by Bock & Clark Corporation
This product style and format is protected by
Copyright and all rights are reserved. The use
of this style and format is strictly prohibited
without the written consent and permission of
Bock & Clark Corporation.



Block & Clark's National Surveyors Network
National Coordinators of ALTA/ACSM Land Title Surveys
 537 North Cleveland—Massillon Road Akron, Ohio 44333
 Phone: (800) SURVEYS; Fax: (330) 666-3608 www.1800surveys.com



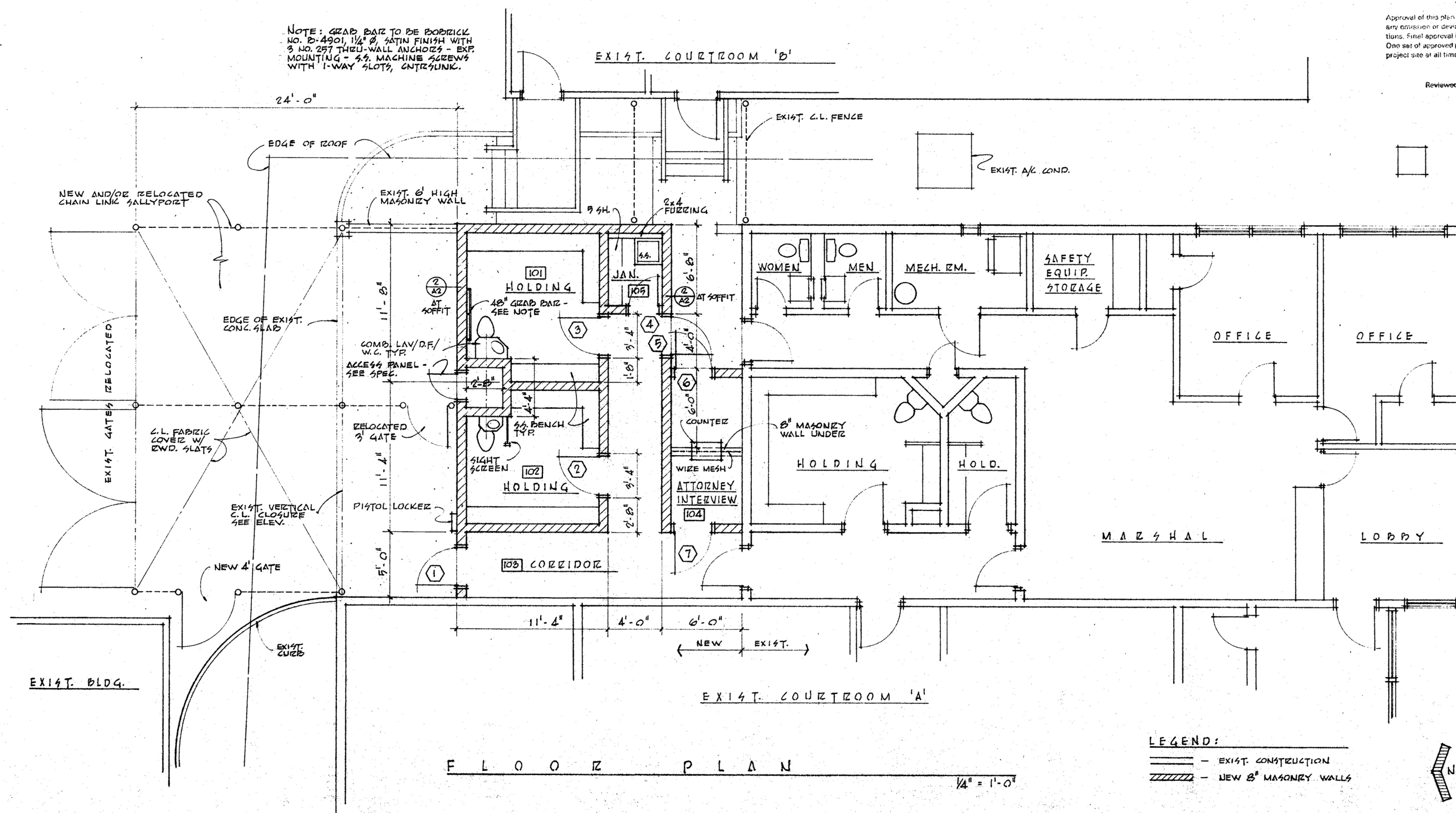
CALIFORNIA STATE FIRE MARSHAL

APPROVED

Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.

Reviewed by: *PMC* 6/27/90

NOTE: GRAB BAR TO BE BOBBIK NO. B-4901, 1 1/2" Ø, SATIN FINISH WITH 3 NO. 257 THRU-WALL ANCHORS - EXP. MOUNTING - 5/8" MACHINE SCREWS WITH 1-WAY SLOTS, COUNTERSINK.



LEGEND:

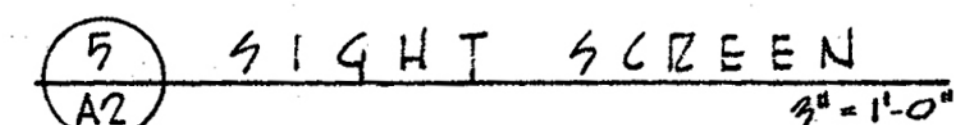
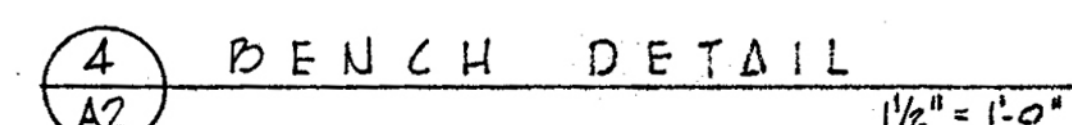
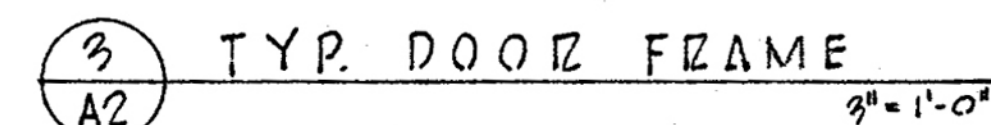
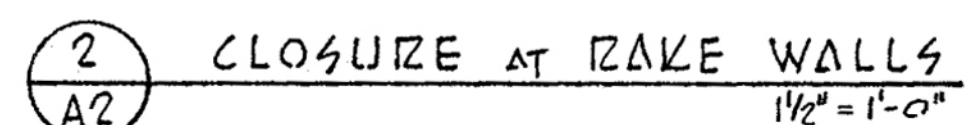
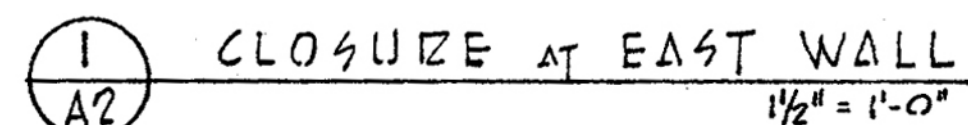
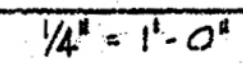
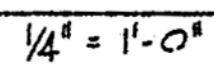
- EXIST. CONSTRUCTION
- NEW 8" MASONRY WALLS

As Built
3-14-91 DATE
THE MC DONALD GLENN CO.

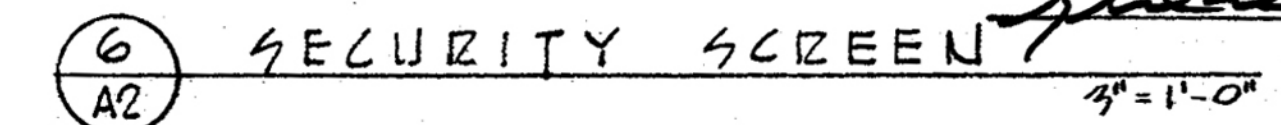
HOLDING ROOM ADDITIONS
MANTECA MUNICIPAL COURT
Manteca, California

FLOOR PLAN & INTERIOR ELEVATIONS
James W. Winters
FRANK B. MANSFIELD, ARCHITECT
200 WEST LOCKPORT STREET, OAKLAND, CALIFORNIA 94612

DRAWN
FM
CHECKED
DATE
4-9-90
SCALE
NOTED
JOB NO.
899
SHEET
A-1



TYPE 2



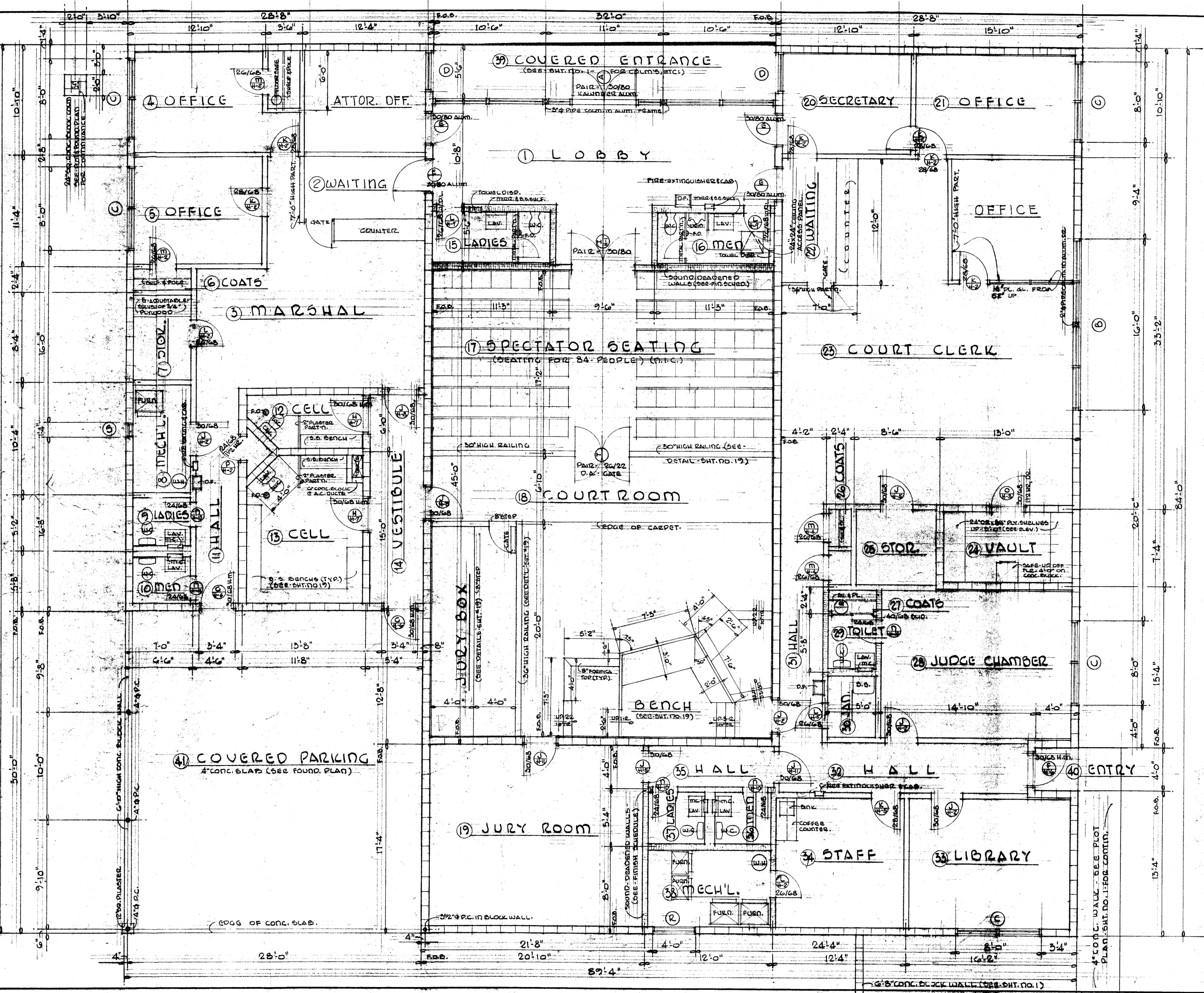
34

A-2

MANTECA SUPERIOR COURT

39-C-1

89-4 x 84 = 7509.6
 SIDE 4 x 4 = - 16.0
 ENTRY 30 x 28 = - 840.00
 TOTAL 6653.6
 MANTECA COURT



GENERAL NOTES

GENERAL REQUIREMENTS

DETAILS AND DIMENSIONS OF EXISTING CONSTRUCTION SHALL BE VERIFIED AT THE SITE BY THE CONTRACTOR AND ANY DISCREPANCY BETWEEN THE PLANS AND EXISTING CONDITION SHALL BE PROMPTLY REPORTED TO THE STRUCTURAL ENGINEER.

DO NOT SCALE THESE DRAWINGS.

VERIFY THE FOLLOWING WITH THE ARCHITECTURAL DRAWINGS:
EXTENT, LOCATION, SLOPES AND DRAINAGE OF SLABS AND CEILING,
SLAB DEPRESSIONS, ETC.; SIZE AND LOCATION OF ALL OPENINGS (DOORS,
MECHANICAL DUCTS AND LOUVERS, ETC.).

SUBMITTAL FOR APPROVAL OF EQUAL SUBSTITUTIONS SHALL BE MADE TO THE STRUCTURAL ENGINEER 30 DAYS PRIOR TO INSTALLATION.

CONSTRUCTION SUPERVISION

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL, COUNTY AND FEDERAL AGENCIES HAVING JURISDICTION. GAMAYO, SANCHEZ & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF CONSTRUCTION OR PROPER EXECUTION OF THE WORK SHOWN ON THESE DRAWINGS. SAFETY METHODS AND TECHNIQUES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

FOUNDATION NOTES

ALLOWABLE SOIL PRESSURES: 2500 PSF FOR DEAD + LIVE LOAD
3300 PSF FOR DEAD LOAD + LIVE
LOAD + SEISMIC OR WIND LOAD

FOOTING ADJACENT TO EXISTING FOUNDATIONS SHALL PENETRATE SAME DEPTH AS EXISTING. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL 18" BELOW NATURAL OR FINISHED GRADE, WHICHEVER IS LOWER. FOUNDATION WALL BACKFILL SHALL BE BROUGHT UP SIMULTANEOUSLY ON EACH SIDE SO THAT EARTH LEVEL ON ONE SIDE IS NEVER MORE THAN EIGHT INCHES (8") HIGHER THAN THE OTHER SIDE, UNLESS APPROVED SHORING IS PROVIDED.

CONCRETE MASONRY

MASONRY UNITS SHALL BE GRADE "N" CONFORMING TO ASTM C-90.

ALL CELLS SHALL BE FILLED WITH FRESHLY PREPARED GROUT. (U.O.N.)

GROUT SHALL BE OF FLUID CONSISTENCY AND MIXED IN THE RATIO:

- 1 PART PORTLAND CEMENT
- 3 PARTS SAND
- 2 PARTS PEA GRAVEL

MORTAR SHALL CONFORM TO ASTM C270 AND SHALL BE FRESHLY PREPARED AND UNIFORMLY MIXED IN THE FOLLOWING RATIO:

- 1 PART PORTLAND CEMENT
- 1/4 PART LIME
- 3-1/2 PARTS SAND

ALL BOLTS EMBEDDED IN MASONRY UNITS SHALL BE GROUTED IN PLACE WITH AT LEAST 1 INCH OF GROUT BETWEEN THE BOLT AND THE MASONRY.
ALL WALLS SHALL BE LAID TRUE AND PLUMB.

CONCRETE

CONCRETE SHALL ATTAIN THE FOLLOWING COMPRESSIVE STRENGTHS AT 28 DAYS WITH MINIMUM OF 5 SACKS OF CEMENT PER CUBIC YARD:

FOUNDATIONS: 2000 POUNDS PER SQUARE INCH (PSI)
SLABS ON GRADE: 2000 POUNDS PER SQUARE INCH (PSI)
CEILING SLABS: 3000 POUNDS PER SQUARE INCH (PSI)

REINFORCEMENTS, ANCHOR BOLTS, PIPE SLEEVES AND OTHER INSERTS SHALL BE POSITIVELY SECURED IN PLACE PRIOR TO PLACING CONCRETE.

CONCRETE PROTECTION FOR REINFORCEMENTS (TO FACE OF BARS):

- 3" WHERE CONCRETE IS POURED AGAINST EARTH
- 2" WHERE CONCRETE IS EXPOSED TO EARTH BUT PLACED IN FORMS
- 1-1/2" TO COLUMN TIES AND BEAM AND GIRDER STIRRUPS
- 3/4" FOR SLABS, WALLS AND JOISTS

STRUCTURAL STEEL

ALL STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL CONFORM WITH ASTM A36. ALL BOLTS SHALL CONFORM WITH ASTM A307.

ALL HEADED STUDS SHALL BE 2.5" LONG NELSON STUD OR APPROVED EQUAL.

ALL ANCHOR BOLTS SHALL USE STANDARD HOLES EXCEPT AS APPROVED IN WRITING BY DESIGN STRUCTURAL ENGINEER.

REINFORCING STEEL

REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 FOR #5 AND LARGER; GRADE 40 FOR #4 AND SMALLER.

NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE ENGINEER.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED ONE FULL MESH AT SIDE AND END SPLICES AND WIRED TOGETHER.

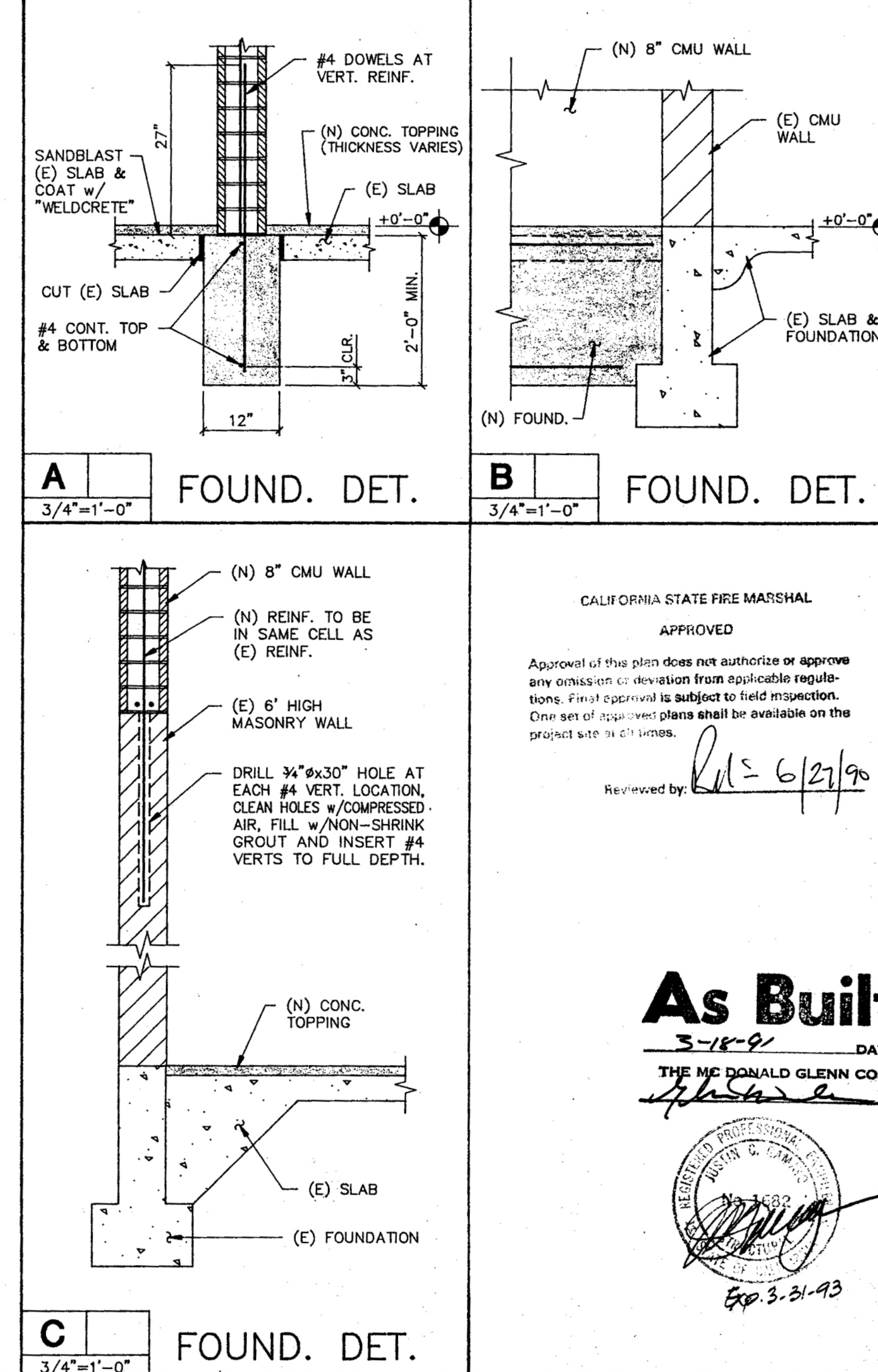
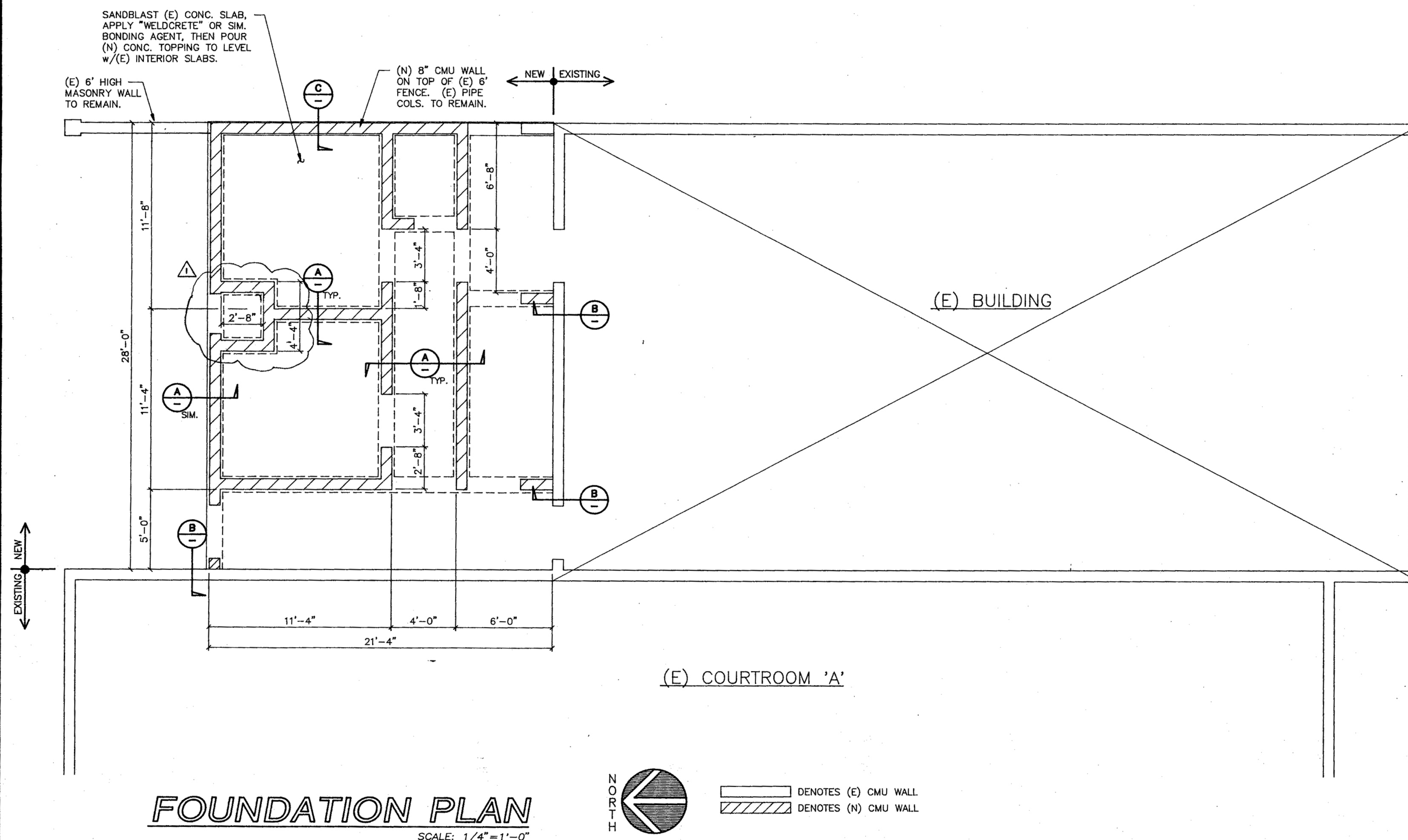
LAP SPLICES IN MASONRY SHALL BE AT LEAST 40 DIAMETERS.

UNLESS OTHERWISE NOTED, LAP SPLICES SHALL BE A MINIMUM OF 36 BAR DIAMETERS. STAGGER SPLICES SO THAT THE DISTANCE BETWEEN ADJACENT BAR SPLICES SHOULD BE AT LEAST EQUAL TO THE AMOUNT OF LAP. ALL BARS CONTINUOUS AROUND CORNERS.

CONTINUOUS TOP AND BOTTOM BARS IN WALLS AND BEAMS SHALL BE SPLICED AS FOLLOWS: TOP BARS AT MIDSPAN; BOTTOM BARS OVER SUPPORTS.

ABBREVIATIONS

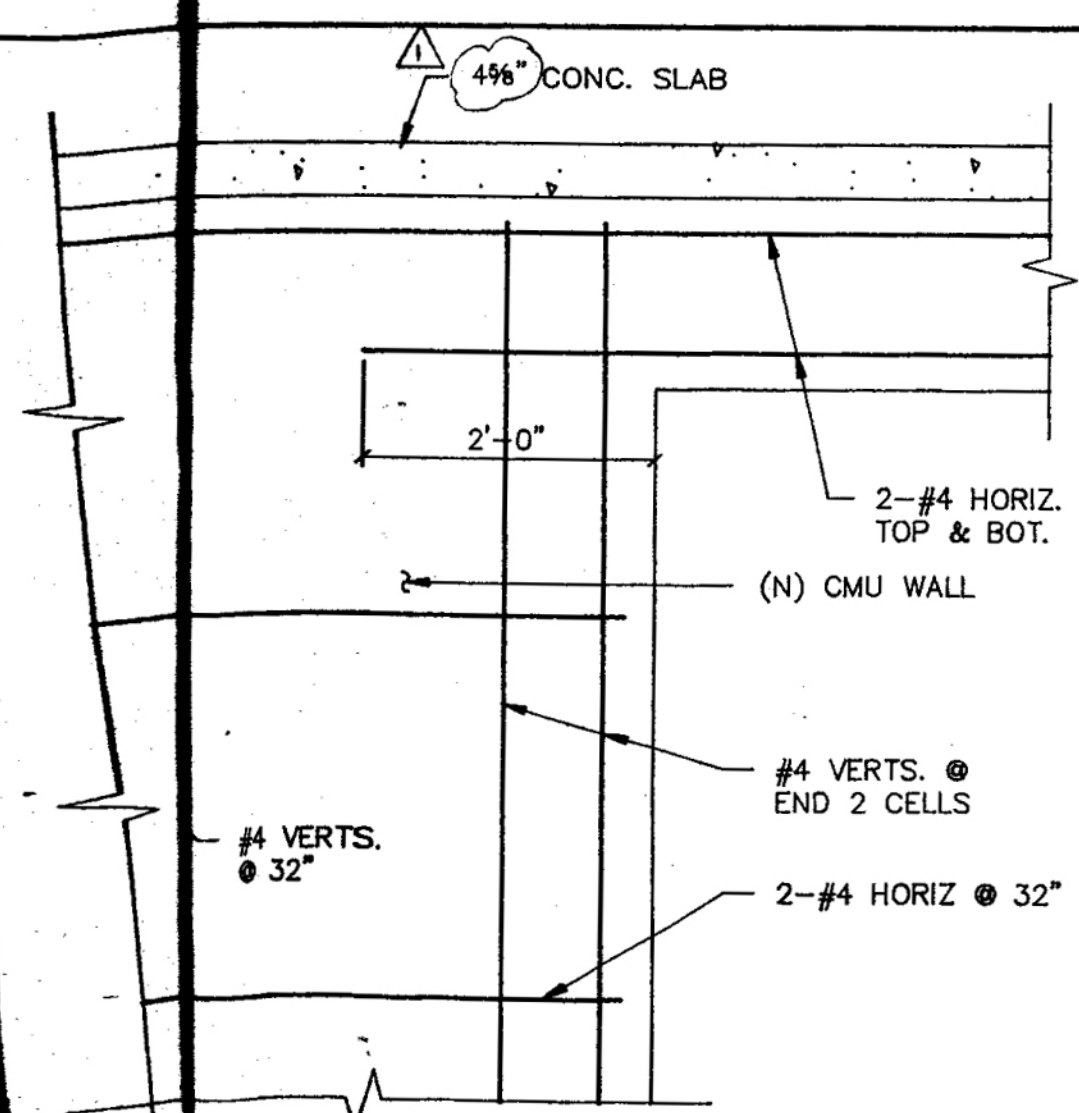
B.O.C. - BOTTOM OF CONCRETE	F.S. - FAR SIDE
CONT. - CONTINUOUS	(N) - NEW
(E) - EXISTING	N.S. - NEAR SIDE
E.F. - EACH FACE	O.F. - OUTSIDE FACE
E.W. - EACH WAY	S.A.D. - SEE ARCHITECTURAL DWGS
F.O.C. - FACE OF CONCRETE	U.O.N. - UNLESS OTHERWISE NOTED
F.O.S. - FACE OF STUDS	



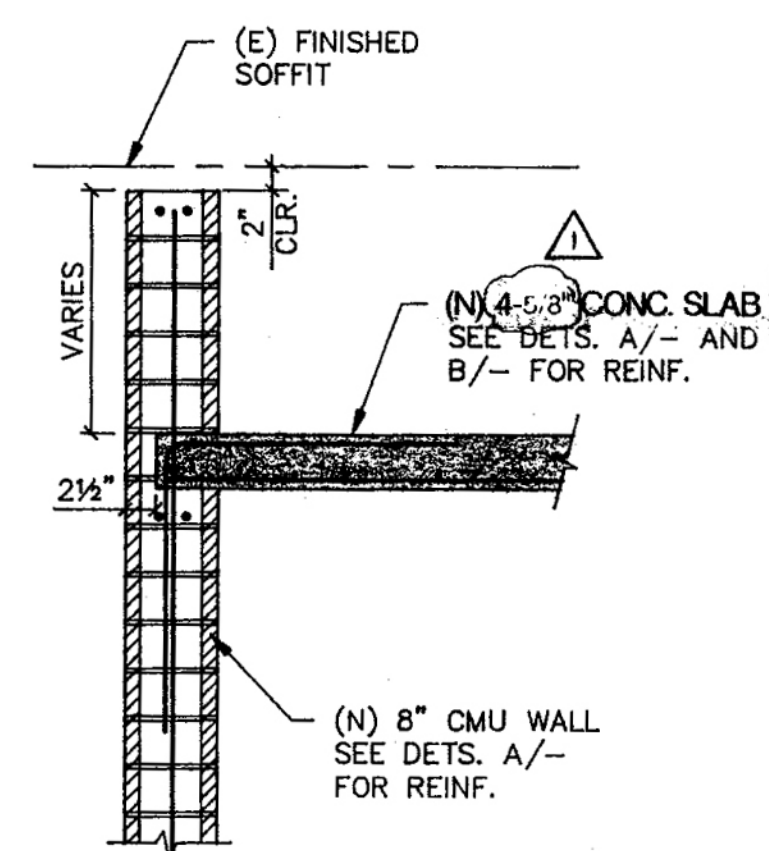
NOTE: SEE DETAIL C/- FOR REINF.
AT LINTELS OVER OPENINGS.

CEILING FRAMING PLAN

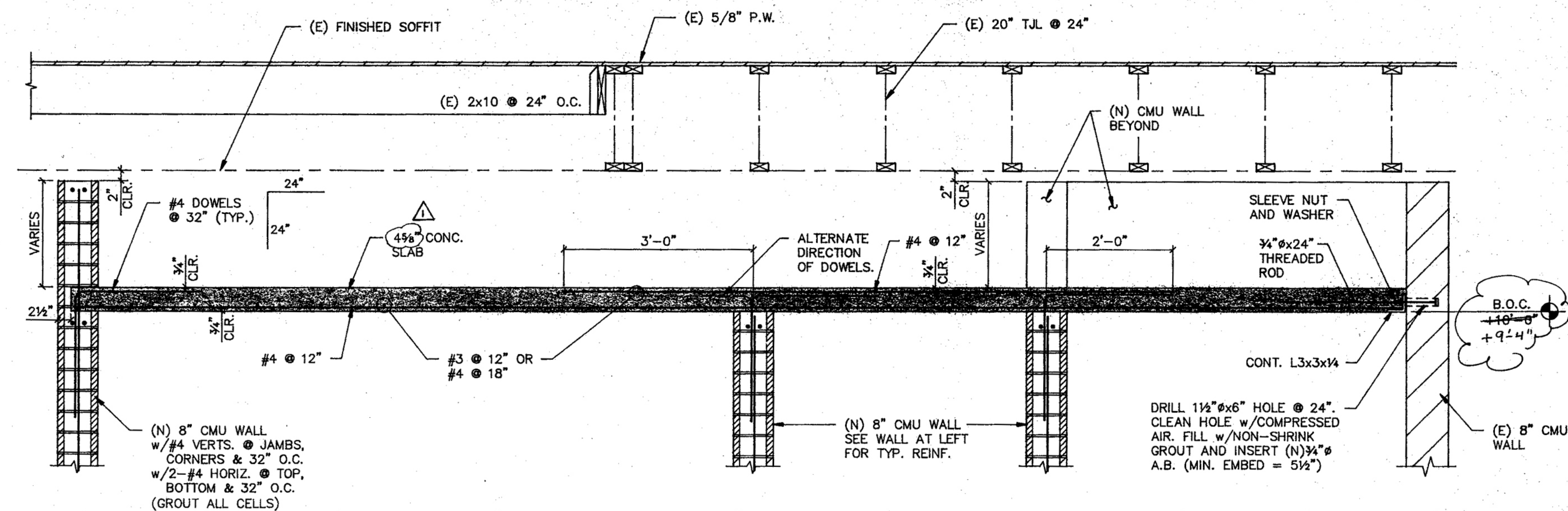
SCALE: $1/4" = 1'-0"$



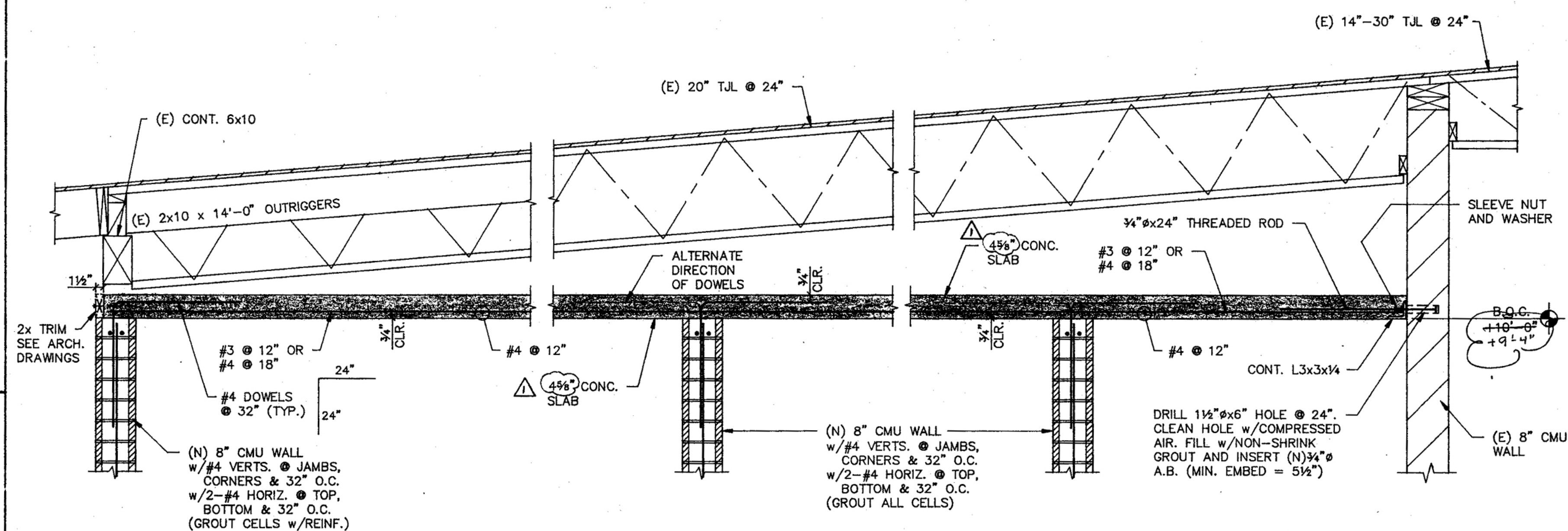
DETAIL AT DOOR JAMBS



SECTION AT
EXTERIOR CORRIDOR



SECTION AT ROOF SLAB



SECTION AT ROOF SLAB

CALIFORNIA STATE FIRE MARSHAL

APPROVED

Approval of this plan does not authorize or approve any omission or deviation from applicable regulations. Final approval is subject to field inspection. One set of approved plans shall be available on the project site at all times.

Reviewed by: JM - 6/27/90

As Built

3-18-91 DATE
THE MC DONALD GLENN CO.



Exp. 3-31-93

[illegible]

**HOLDING ROOM ADDITIONS
PLANTICA MUNICIPAL COURT
Manitaca, California**

**CEILING FRAMING PLAN,
SECTIONS, & DETAILS**

Frank B. Mansfield
FRANK B. MANSFIELD, ARCHITECT
222 WEST LOCKSFORD STREET Lodi, California 95240 (209) 367-1515

DRAWN

CHECKED

DATE
4-3-90

SCALE
NOTED

JOB NO.
293

SHEET

S2

OF **SHEET**