

SCHEDULE

[illegible]

SAN LUIS OBISPO, CALIFORNIA
FHA PROJECT NO. 122-44098-LDP

CAUS - SPECY ETC.
IN FOLDER IN FILE

APPROVED

AUG 26 1976
PLANNING AND BUILDING DEPT.
CITY OF SAN LUIS OBISPO

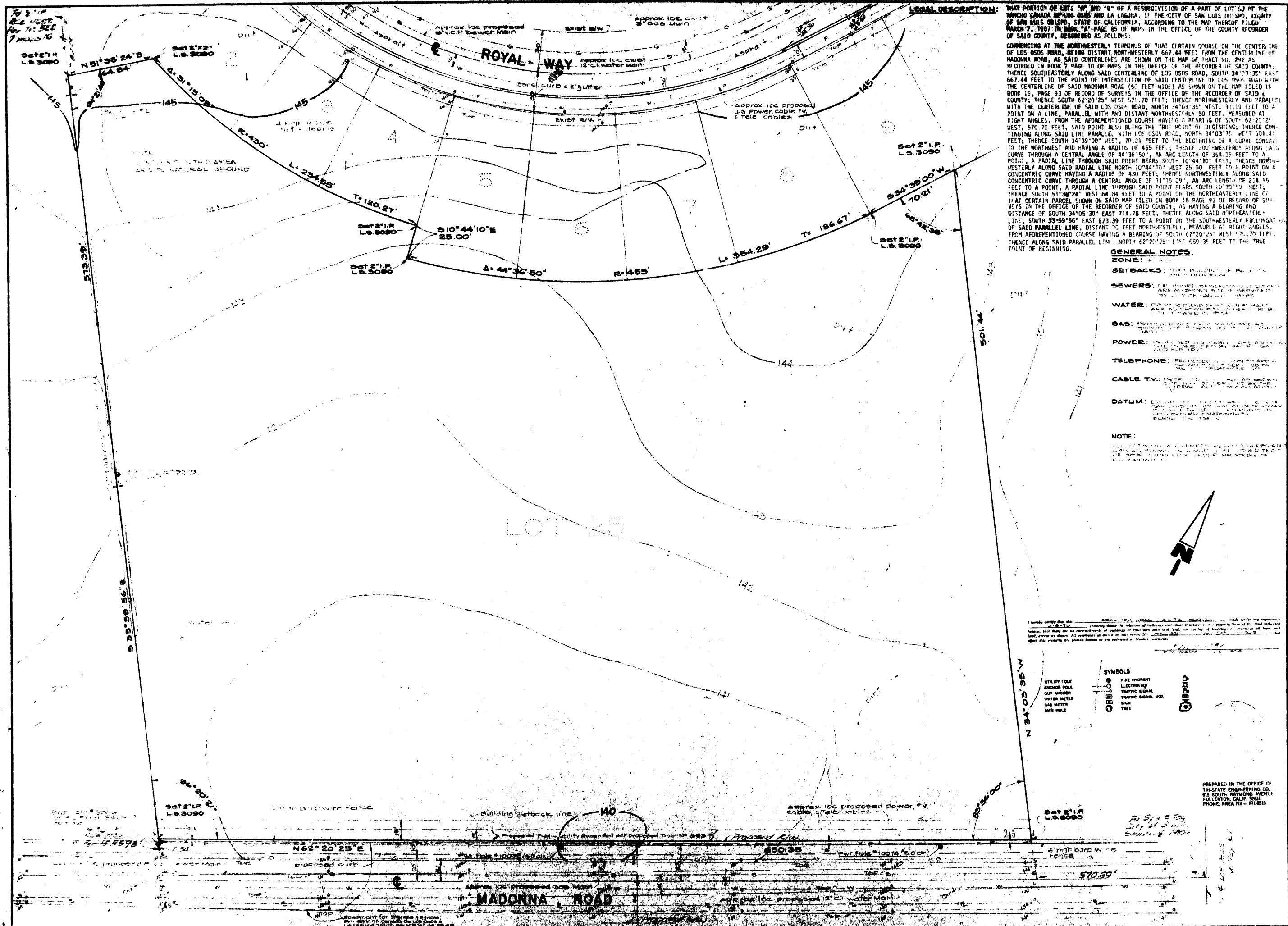
WHEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS CONFORM TO THE SEISMATIC DRAWINGS, BRIEF SPECIFICATIONS AND COMMITMENT CONDITIONS; INCLUDING THE CONTRACT SUBSET, APPLICABLE CODES AND ORDINANCES AND THAT THEY COMPLY WITH THE OBJECTIVES OF THE FEDERAL HOUSING AUTHORITY MINIMUM PROPERTY STANDARDS.

EDWARD C. BARKER AIA
EDWARD C. BARKER A.I.A. ARCHITECT

EDWARD C BARKER Architect AIA		
P. O. ORANGE	BOX CALIFORNIA	1267 92668
<i>Edward Barker</i> C&H TEXTEL INCORPORATED		
AREA 714	561-6177	

SHEET TITLE TITLE SHEET
PROJECT
LOCATION SAN LUIS OBISPO CALIFORNIA
CONSULTANT

REVISIONS	
JOB NO 122	6-8-72
DESIGNED B. C. D.	
DRAWN T. C.	
CHECKED	
APPROVED	
SHEET	A



LEGAL DESCRIPTION:

THAT PORTION OF LOTS "14" AND "15" OF A RESUBDIVISION OF A PART OF LOT 60 OF THE MANCHO CANADA BEING LOTS 145 AND 146, IN THE CITY OF SAN LUIS OBISPO, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF FILED MARCH 7, 1907 IN BOOK "A" PAGE 85 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWESTERLY TERMINUS OF THAT CERTAIN COURSE ON THE CENTERLINE OF LOS OSOS ROAD, BEING DISTANT NORTHWESTERLY 667.44 FEET FROM THE CENTERLINE OF MADONNA ROAD, AS SAID CENTERLINES ARE SHOWN ON THE MAP OF TRACT NO. 292 AS RECORDED IN BOOK 7 PAGE 10 OF MAPS IN THE OFFICE OF THE RECORDER OF SAID COUNTY, THENCE SOUTHEASTERLY ALONG SAID CENTERLINE OF LOS OSOS ROAD, SOUTH 34° 03' 35" EAST 667.44 FEET TO THE POINT OF INTERSECTION OF SAID CENTERLINE OF LOS OSOS ROAD WITH THE CENTERLINE OF SAID MADONNA ROAD (50 FEET WIDE) AS SHOWN ON THE MAP FILED IN BOOK 15, PAGE 93 OF RECORD OF SURVEYS IN THE OFFICE OF THE RECORDER OF SAID COUNTY; THENCE SOUTH 62° 20' 25" WEST 570.70 FEET; THENCE NORTHWESTERLY AND PARALLEL WITH THE CENTERLINE OF SAID LOS OSOS ROAD, NORTH 34° 03' 35" WEST, 30.19 FEET TO A POINT ON A LINE, PARALLEL WITH AND DISTANT NORTHWESTERLY 30 FEET, MEASURED AT RIGHT ANGLES, FROM THE AFOREMENTIONED COURSE HAVING A BEARING OF SOUTH 62° 20' 25" WEST, 570.70 FEET, SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID LINE PARALLEL WITH LOS OSOS ROAD, NORTH 34° 03' 35" WEST 501.44 FEET; THENCE SOUTH 34° 39' 00" WEST, 70.21 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 455 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 44° 36' 50", AN ARC LENGTH OF 354.29 FEET TO A POINT, A RADIAL LINE THROUGH SAID POINT BEARS SOUTH 10° 44' 10" EAST, THENCE NORTHWESTERLY ALONG SAID RADIAL LINE NORTH 10° 44' 10" WEST 25.00 FEET TO A POINT ON A CONCENTRIC CURVE HAVING A RADIUS OF 430 FEET; THENCE NORTHWESTERLY ALONG SAID CONCENTRIC CURVE THROUGH A CENTRAL ANGLE OF 11° 15' 09", AN ARC LENGTH OF 224.95 FEET TO A POINT, A RADIAL LINE THROUGH SAID POINT BEARS SOUTH 20° 30' 59" WEST; THENCE SOUTH 51° 38' 24" WEST 64.64 FEET TO A POINT ON THE NORTHEASTERLY LINE OF THAT CERTAIN PARCEL SHOWN ON SAID MAP FILED IN BOOK 15 PAGE 93 OF RECORD OF SURVEYS IN THE OFFICE OF THE RECORDER OF SAID COUNTY, AS HAVING A BEARING AND DISTANCE OF SOUTH 34° 05' 30" EAST 714.78 FEET; THENCE ALONG SAID NORTHEASTERLY LINE, SOUTH 39° 59' 56" EAST 873.39 FEET TO A POINT ON THE SOUTHWESTERLY PROLONGATION OF SAID PARALLEL LINE, DISTANT 30 FEET NORTHWESTERLY, MEASURED AT RIGHT ANGLES, FROM AFOREMENTIONED COURSE HAVING A BEARING OF SOUTH 62° 20' 25" WEST 570.70 FEET; THENCE ALONG SAID PARALLEL LINE, NORTH 62° 20' 25" EAST 650.35 FEET TO THE TRUE POINT OF BEGINNING.

GENERAL NOTES:

- ZONE: R-1
- SEWER: 12" DIAMETER REVERSE SLOPE 0.001' PER FOOT
- WATER: 12" DIAMETER REVERSE SLOPE 0.001' PER FOOT
- GAS: 12" DIAMETER REVERSE SLOPE 0.001' PER FOOT
- POWER: 12" DIAMETER REVERSE SLOPE 0.001' PER FOOT
- TELEPHONE: 12" DIAMETER REVERSE SLOPE 0.001' PER FOOT
- CABLE TV: 12" DIAMETER REVERSE SLOPE 0.001' PER FOOT
- DATUM: 1985

NOTE:

I hereby certify that this is a true and correct copy of the original survey map as shown to me by the owner of the land surveyed, and that the same has been compared with the original map and found to be correct.

- UTILITY HOLE
- ANCHOR HOLE
- GUY ANCHOR
- WATER METER
- GAS METER
- MAN HOLE
- FIRE HYDRANT
- ELECTROLIC
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL BOX
- SIGN
- TREE

PREPARED IN THE OFFICE OF
TRI-STATE ENGINEERING CO.
615 SOUTH RAYMOND AVENUE
FULLERTON, CALIF. 92630
PHONE: AREA 714 - 871-9510

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE, CALIFORNIA 92668

Edward C. Barker
02211
TEXTIL
INCORPORATED
AREA 714 881-8177

SHEET TITLE
TOPOGRAPHIC
SURVEY

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO

CONSULTANT
TRI-STATE
ENGINEERING

REVISIONS

JOB NO.
104 2-5-70

DESIGNED
E.C.B.

DRAWN

CHECKED

APPROVED

SHEET

5-1

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE, CALIFORNIA 92668

Edward C. Barker
TEXTTEL
INCORPORATED
AREA "14" 541-8177

SHEET TITLE
FOUNDATION
PLAN - BLDG
NO. 1, 2, 3, 7, 8,
16 & 18

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO

CONSULTANT

REVISIONS

JOB NO.
152 6-3-70

DESIGNED
E.C.B.

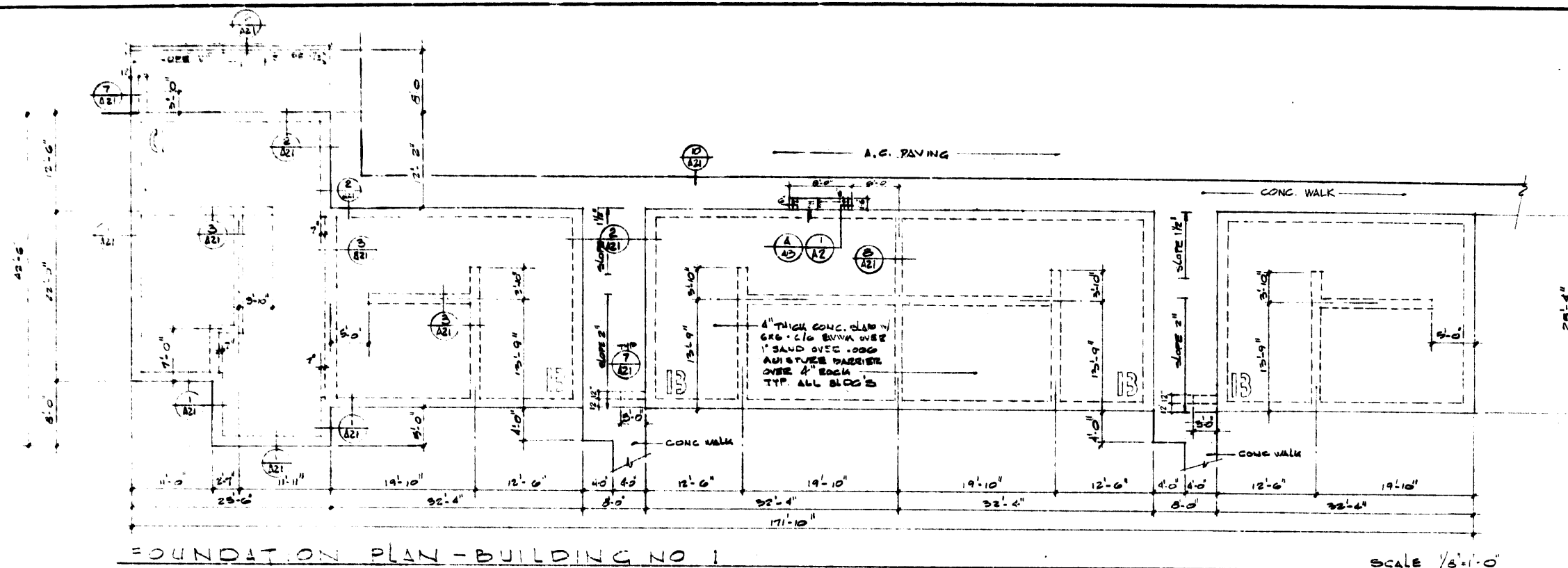
DRAWN
W.B.

CHECKED

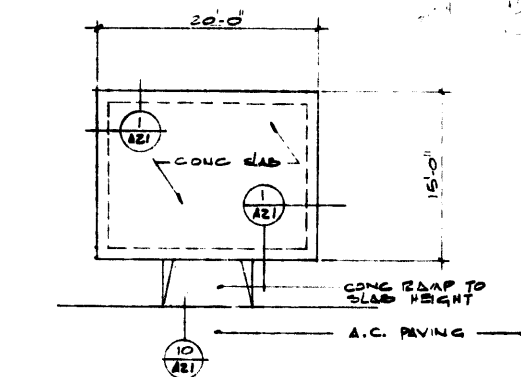
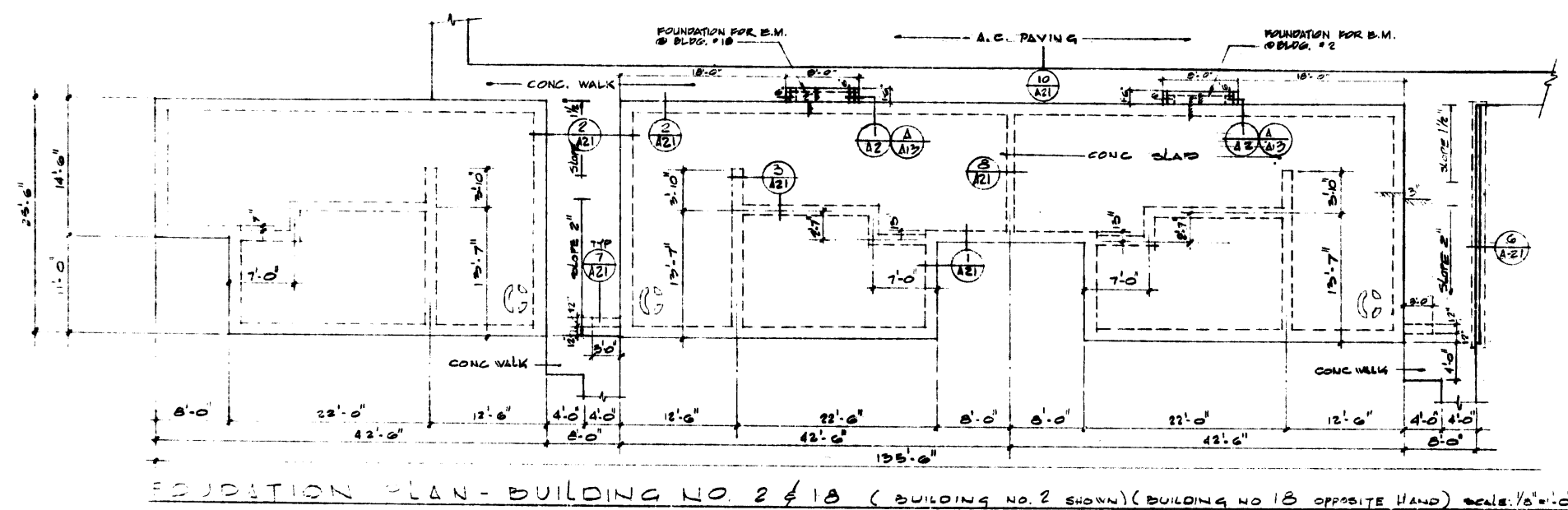
APPROVED

SHEET

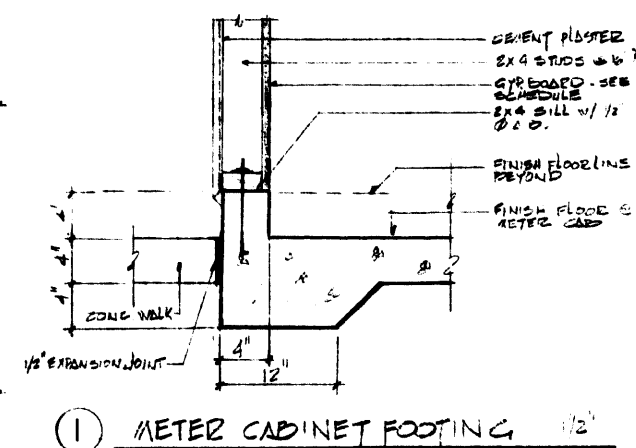
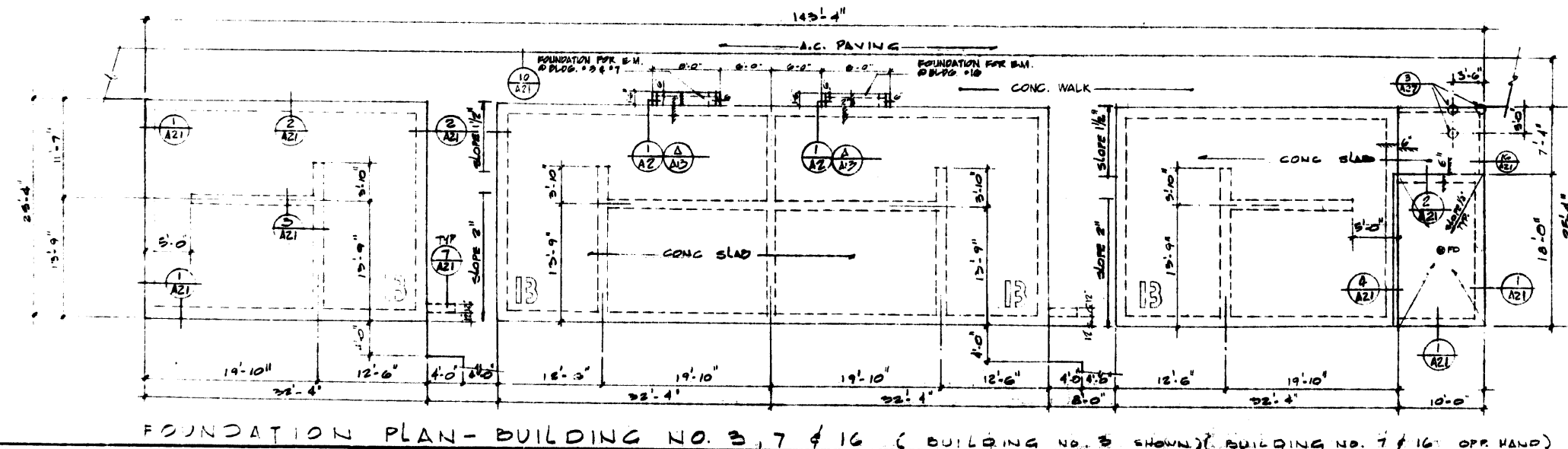
A-2

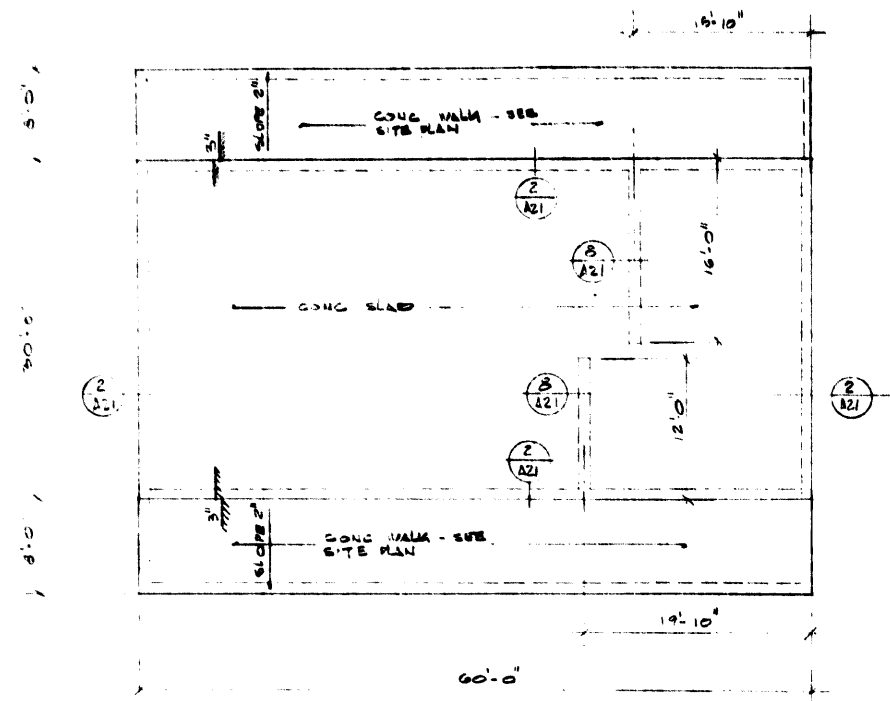


NOTE: DETAIL BUBBLES
INDICATED ARE TYPICAL FOR
ALL LIKE SITUATIONS THRU-
OUT EACH BUILDING

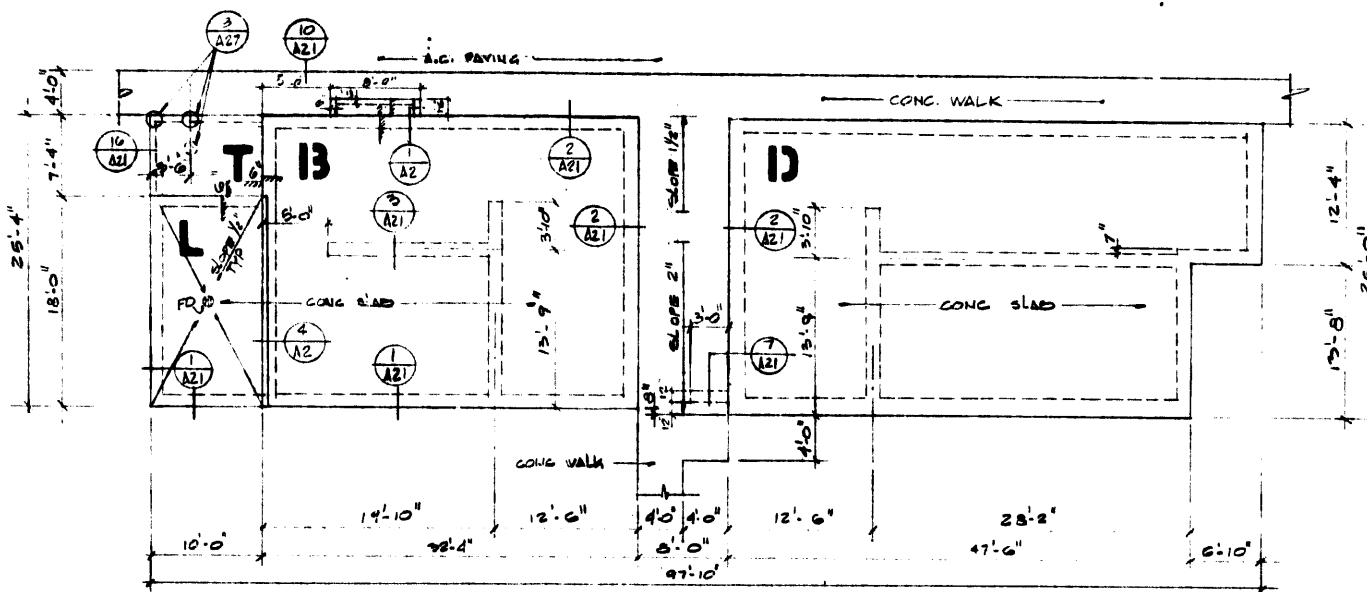


FOUNDATION PLAN - BUILDING NO. 3
MAINTENANCE BUILDING SCALE: 1/8" = 1'-0"



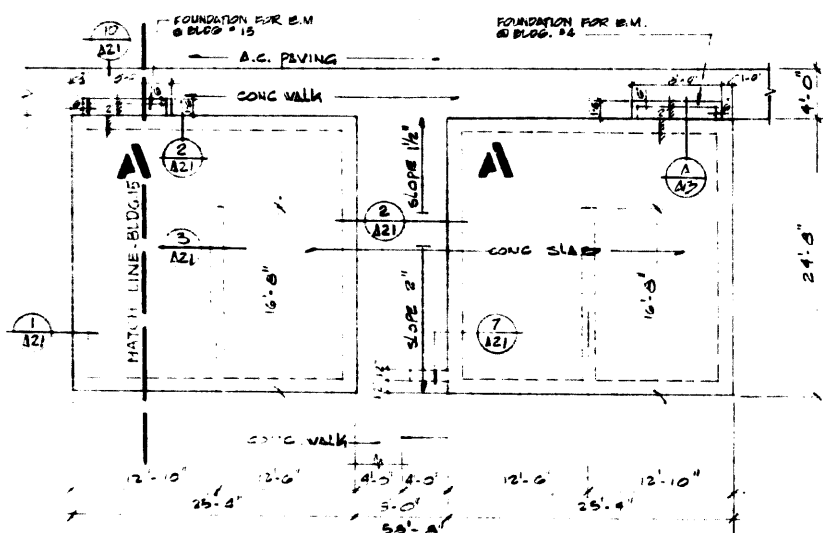


FOUNDATION PLAN RECREATION BLDG. NO. 19



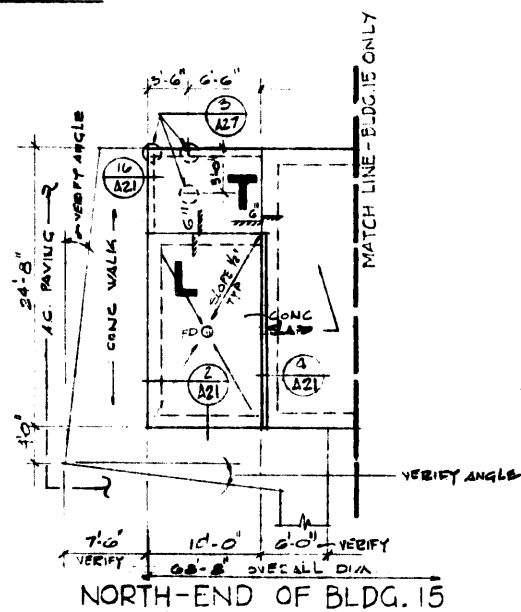
FOUNDATION PLAN - BLDG. NO. 13

SCALE 1/8" = 1'-0"

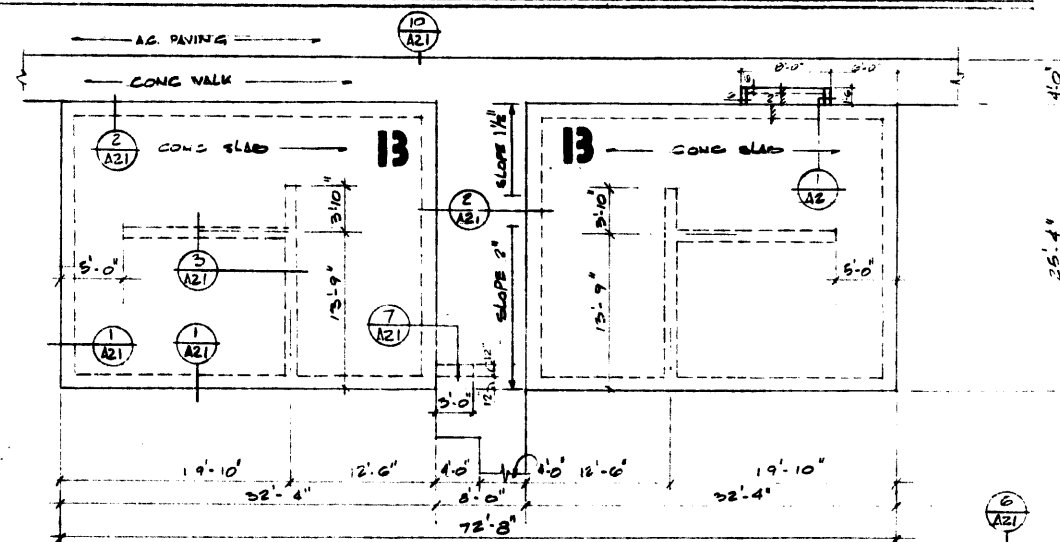


FOUNDATION PLAN - BLDG. NO. 4 & 15

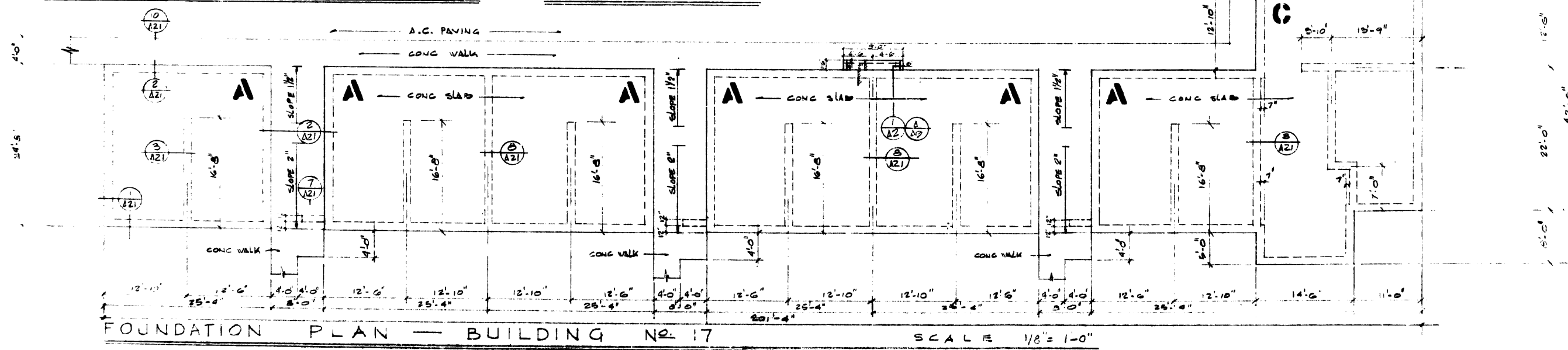
SCALE 1/8" = 1'-0"



NORTH-END OF BLDG. 15



FOUNDATION PLAN - BLDG. NO. 5 & 14



FOUNDATION PLAN - BUILDING NO. 17

SCALE 1/8" = 1'-0"

EDWARD C BARKER
Architect AIA

P.O. BOX 1287
ORANGE CALIFORNIA 92668

TEXTTEL
INCORPORATED
AREA 714 561-0177

SHEET TITLE
FOUNDATION
PLANS - BLOC.
NO. 4, 5, 13, 4, 15,
17 & 14

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT

REVISIONS

JOB NO.
152 - 5 70

DESIGNED
ECB

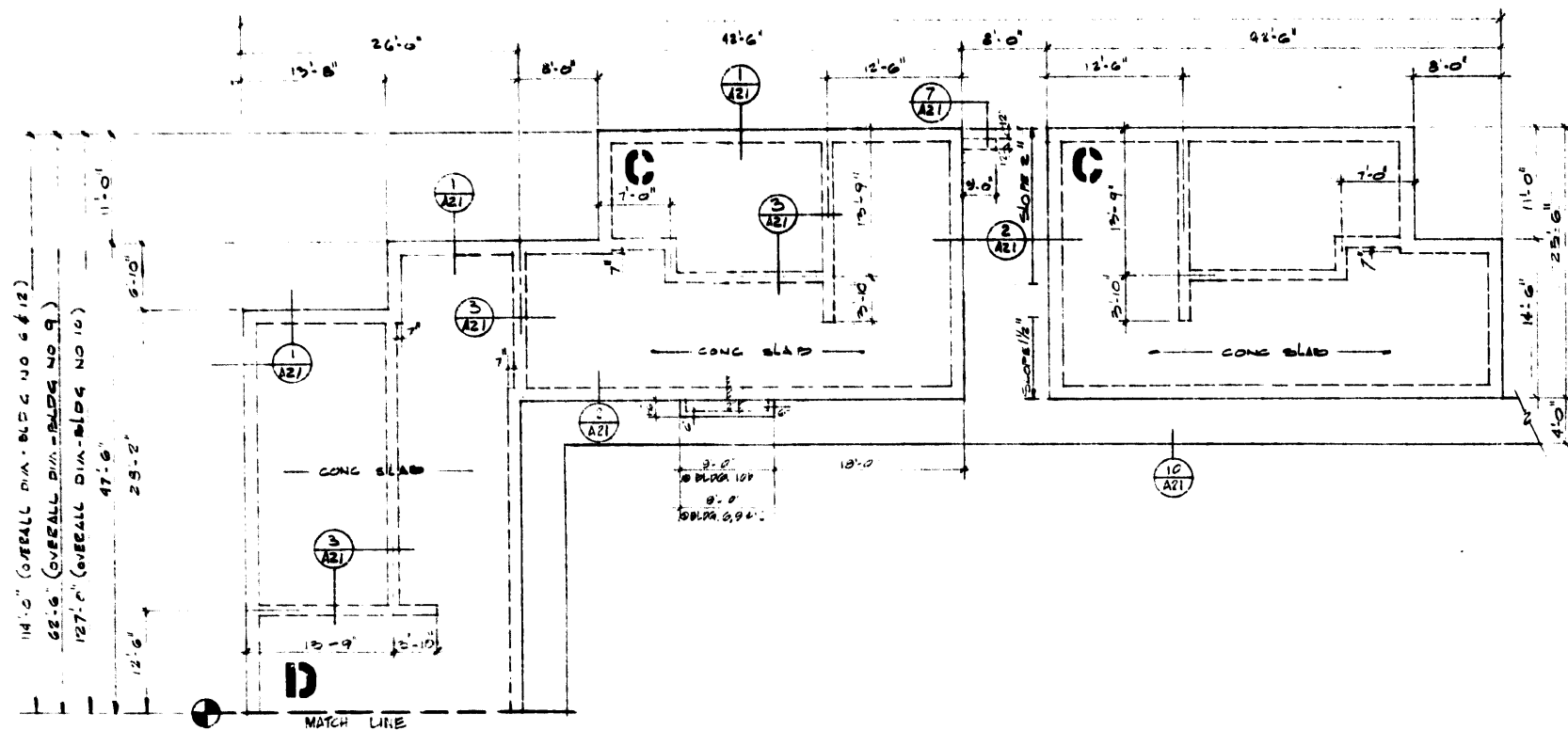
DRAWN
H.P.A.

CHECKED

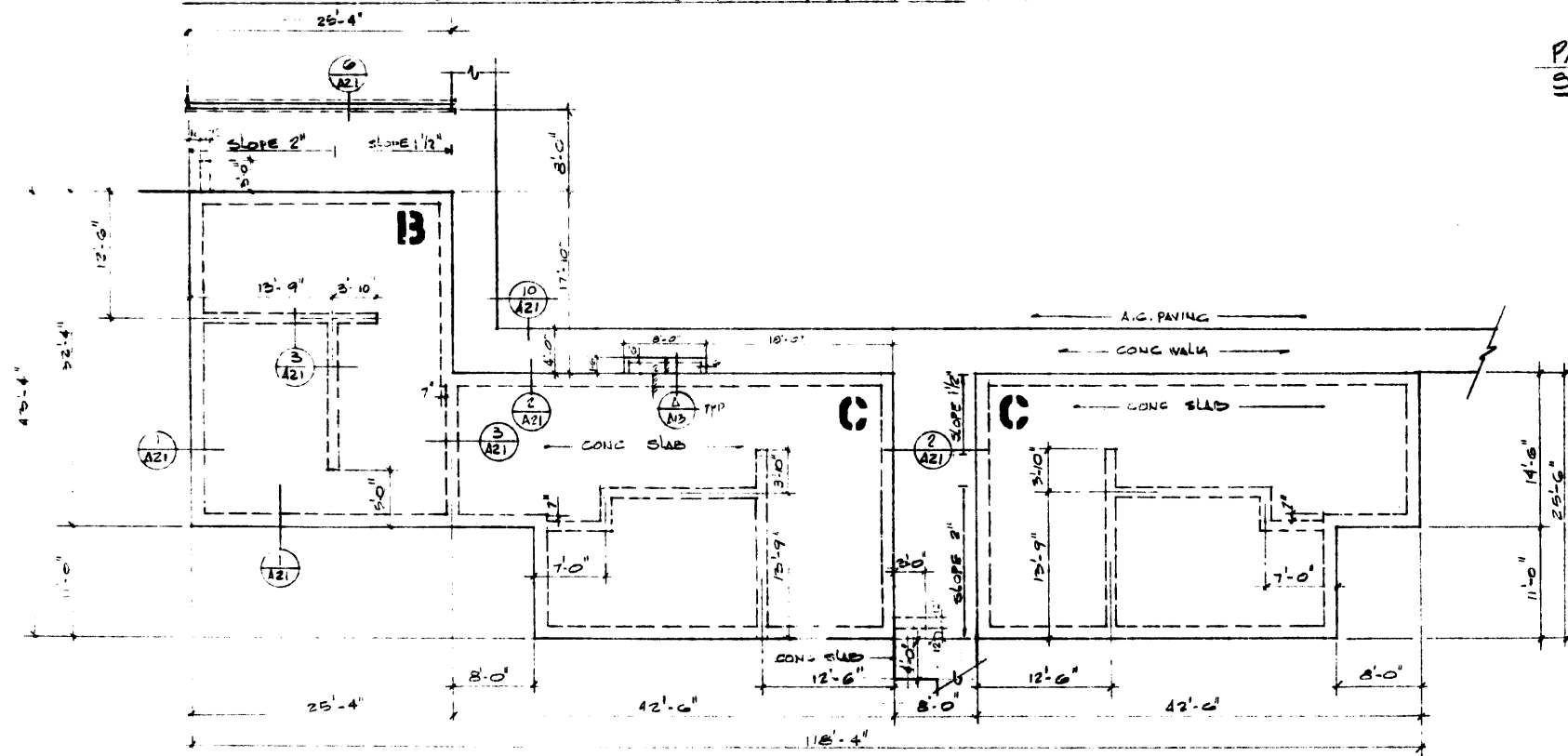
APPROVED

SHEET

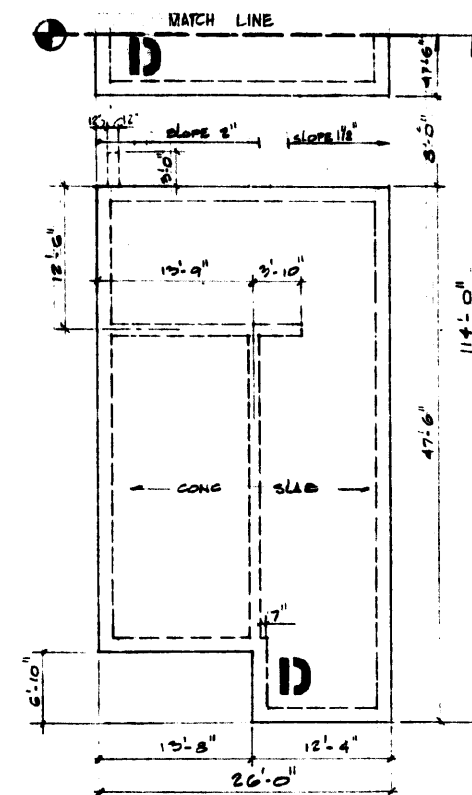
A-3



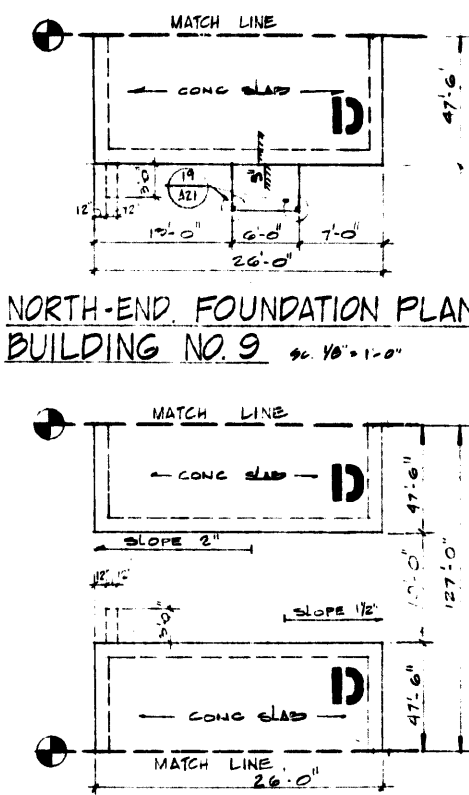
FOUNDATION PLAN - BUILDING NO. 6, 9, 10, 11 & 12 S.C. 1/8" = 1'-0"



FOUNDATION PLAN - BUILDING NO. 11 S.C. 1/8" = 1'-0"



PARTIAL FOUNDATION PLAN SOUTH SIDE - BLOCK NO. 6 & 12



CENTRAL SECTION FOUNDATION PLAN BUILDING NO. 10 S.C. 1/8" = 1'-0"

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE CALIFORNIA 92668

Edward C. Barker
DEC 11

TEXTTEL
INCORPORATED
AREA 714 341-8177

SHEET TITLE
FOUNDATION PLAN
BUILDING NO. 9, 10, 11 & 12

PROJECT
LOS OSOS ROAD
APARTMENTS

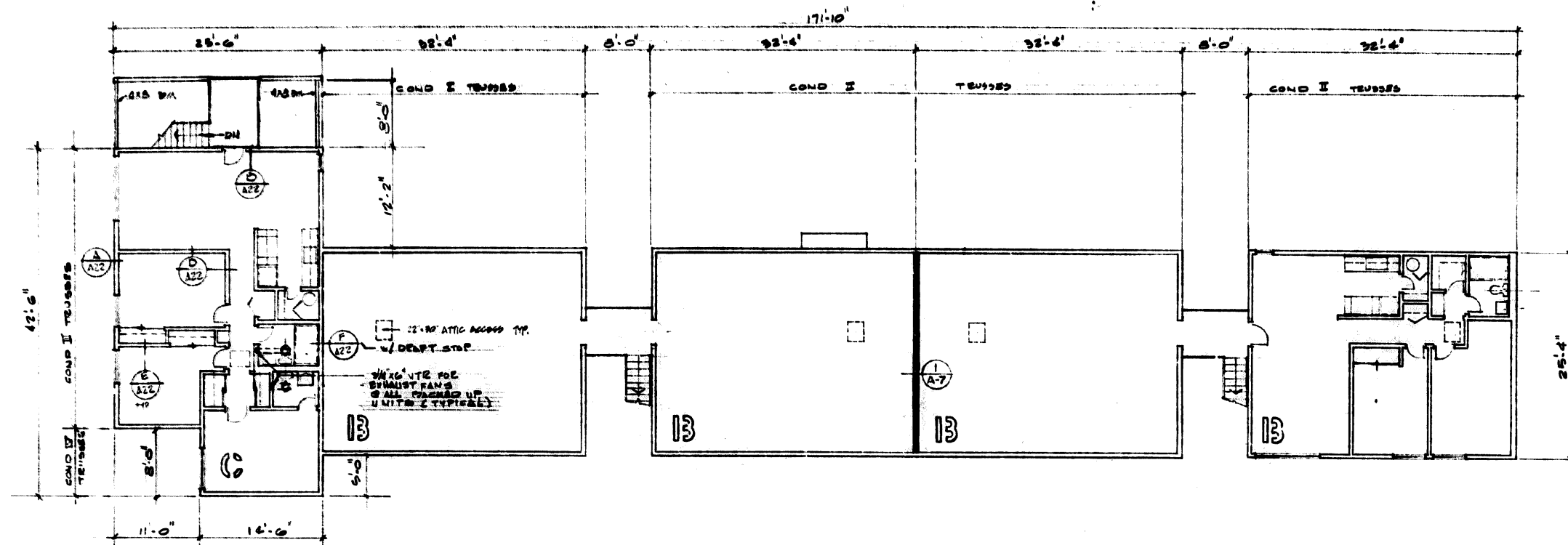
LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT

REVISIONS

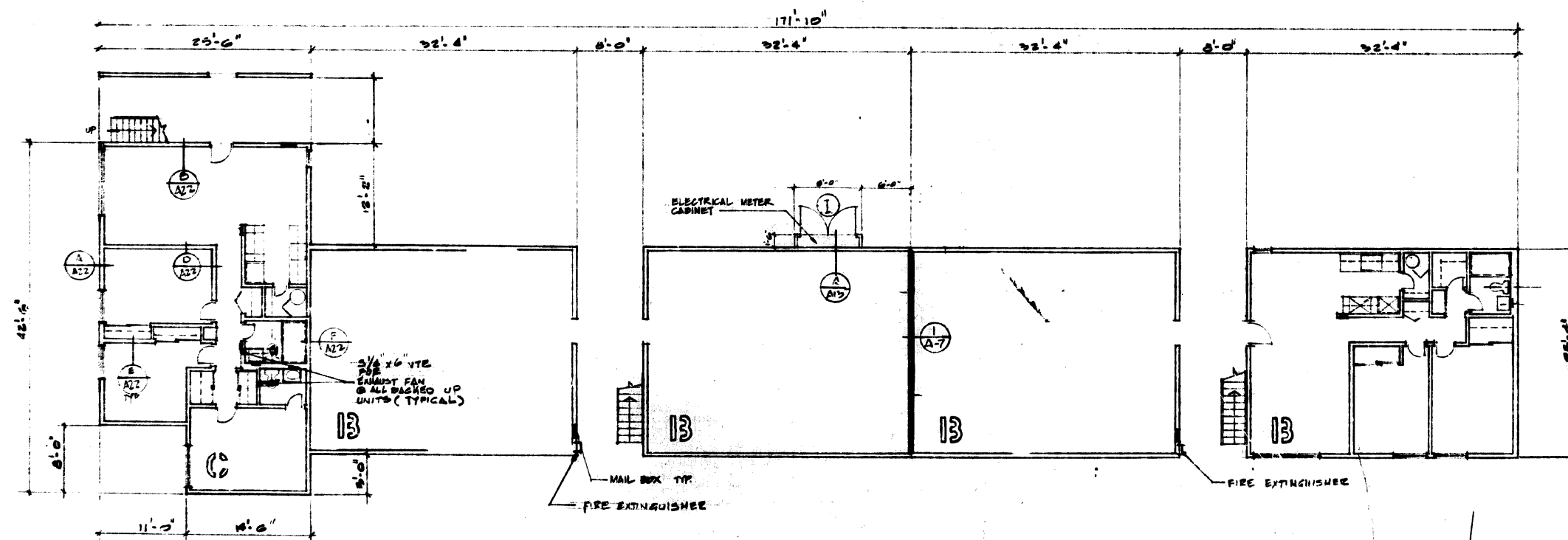
JOB NO.
152 5-5-70
DESIGNED
E. C. B.
DRAWN
T. C.
CHECKED
APPROVED

SHEET
A-4



SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"

BUILDING NO. 1

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1287
ORANGE, CALIFORNIA 92668

Edward C. Barker
C. 12/11
TEXTEL
INCORPORATED
AREA 716 561-0177

SHEET TITLE
1/8 FLOOR PLAN
BUILDING NO. 1

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT

REVISIONS
JUNE 22, 1970

JOB NO. 152 5-8-70

DESIGNED
ECB

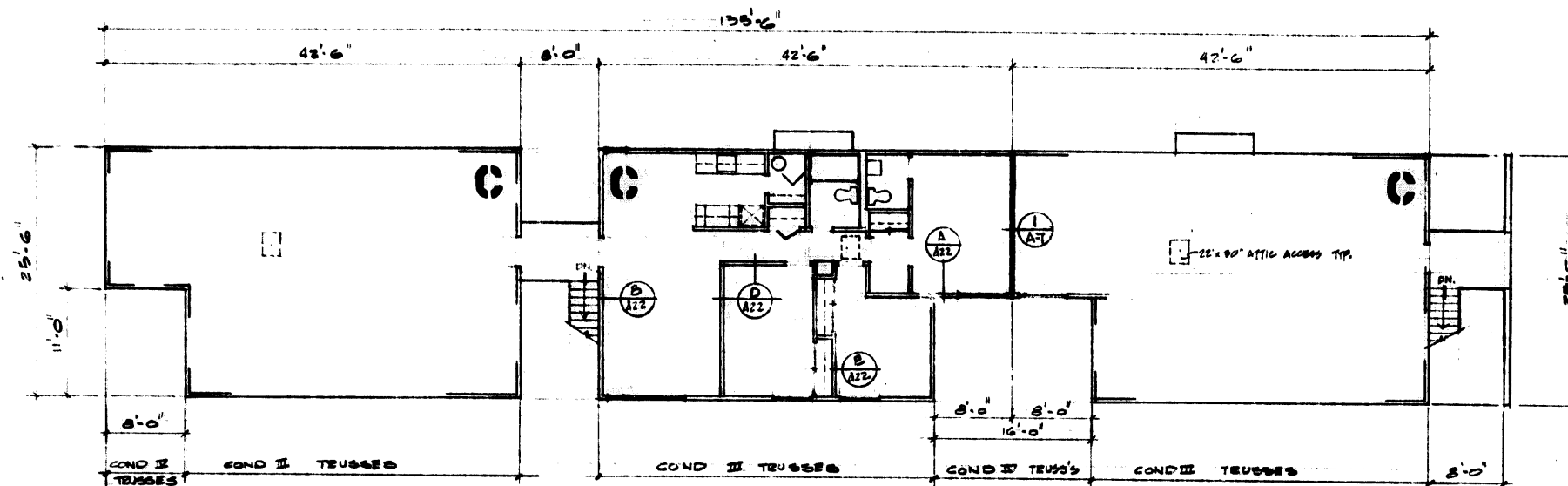
DRAWN
HFA

CHECKED

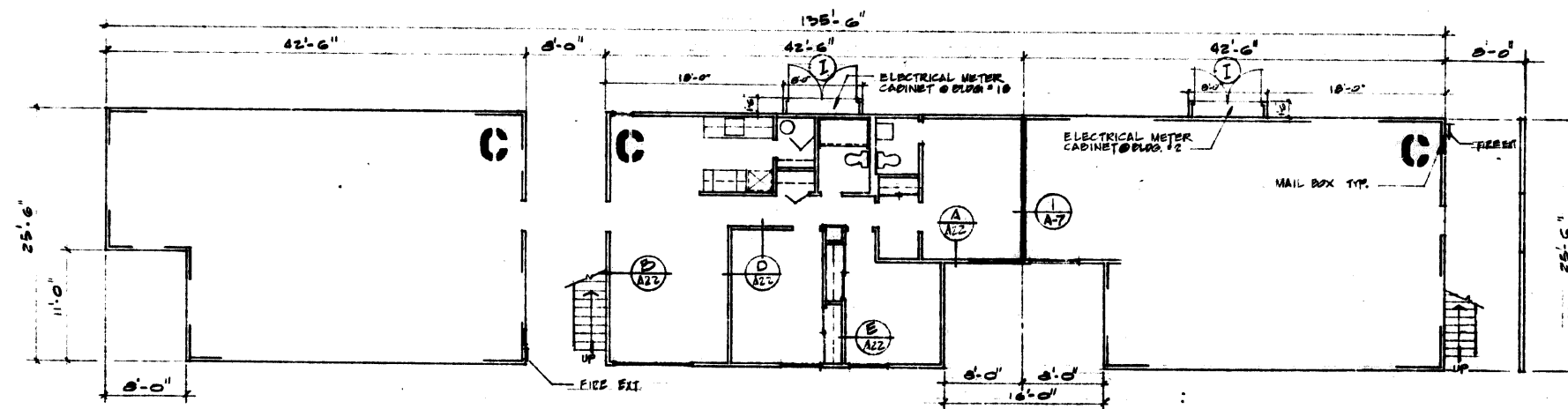
APPROVED

SHEET

A-5

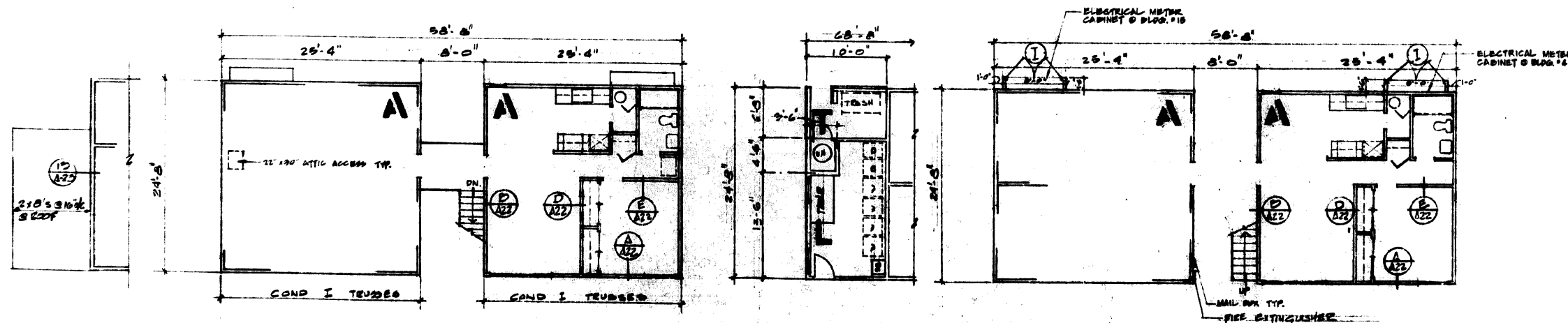


SECOND FLOOR PLAN



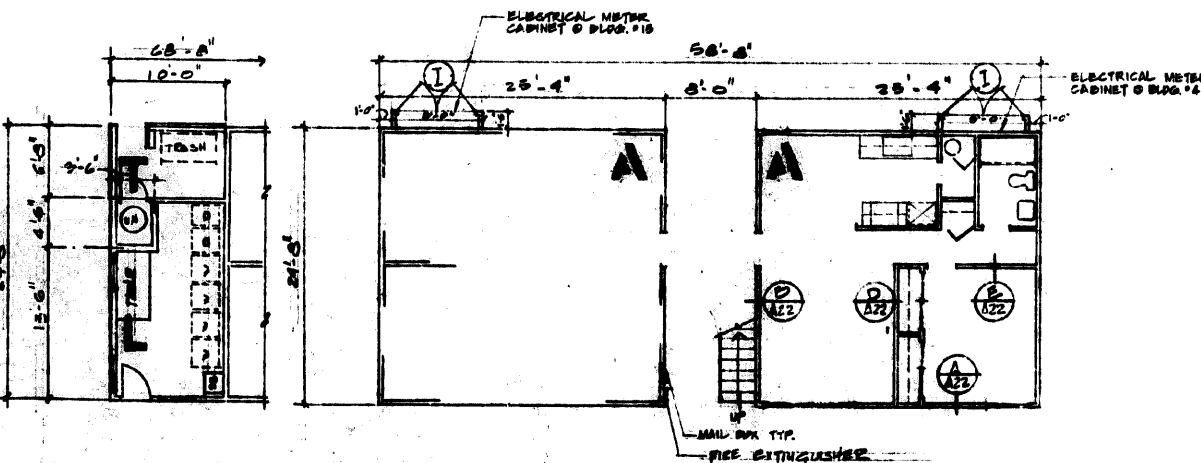
FIRST FLOOR PLAN

BUILDING NO. 2 & 18 (OPPOSITE HAND) 90. 18'-0" x 11'-0"



SECOND FLOOR PLAN

BUILDING NO. 4 & 15 90. 18'-0" x 11'-0"



FIRST FLOOR PLAN

BUILDING NO. 4 & 15 90. 18'-0" x 11'-0"

FRAMING NOTES

1. 3/8" PLYWOOD ROOF DIAPHRAGM W/8d @ 6" O.C. @ EDGES & 8d @ 2' O.C. @ CONTINUOUS JOINT & BOUNDARY & 8d @ 12" O.C. @ INTERMEDIATE SUPPORT - STAGGER EDGES
2. ROOF TRUSSES TO BE 24" O.C. MAX. SEE DET. NO. A-20 (DO NOT SPREAD OVER 24" O.C.)
3. SEE 1/4" FLOOR PLANS FOR LINTEL SIZES
4. SEE DETAIL 17/A-20 FOR PLATE SPLICE - TYPICAL THROUGH-OUT, 2ND FLOOR & ROOF
5. 3/8" PLYWOOD FLOOR DIAPHRAGM W/12d @ 6" O.C. @ EDGES & 12d @ 6" O.C. @ BOUNDARY & 12d @ 12" O.C. FIELD (SEE SPECIFICATIONS)
6. JOISTS & FLUSH BEAMS TO HAVE AN APPROVED JOIST HANGER SEE DET. 11/A-20
7. ALL BEAMS & HEADER @ EXTERIOR BEARING WALLS SHALL BE 6" x 10" FROM FINISH FLOOR UNLESS NOTED OTHER-WISE
8. USE METAL BRIDGING @ 8'-0" O.C. OR @ MID-SPAN.
9. SEE EXTERIOR ELEVATIONS FOR LATERAL BRACING
10. ALL EXPOSED BEAMS TO BE ROUGH SAWN
11. DOUBLE FLOOR JOISTS UNDER PARTITIONS PARALLEL TO JOISTS
12. TYPICAL LATERAL BRACING - 1 x 4 LET. IN W/2-10 d PER STUD @ 45° ±
13. ALL BEAMS TO HAVE 4 x 4 POST OR 2-2 x 4 STUD UNDER BA. END
14. ROOF TRUSSES TO BE FABRICATED BY APPROVED FABRICATOR.

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1257
ORANGE, CALIFORNIA 92666

TEXTEL
INCORPORATED
AREA 714 861-8177

SHEET TITLE
18 FLOOR PLAN
BUILDING NO.
2, 4, 15 & 18

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO,
CALIFORNIA

CONSULTANT

REVISIONS
JUNE 22, 1970

JOB NO.
152 9-8-70

DESIGNED
E. C. B.

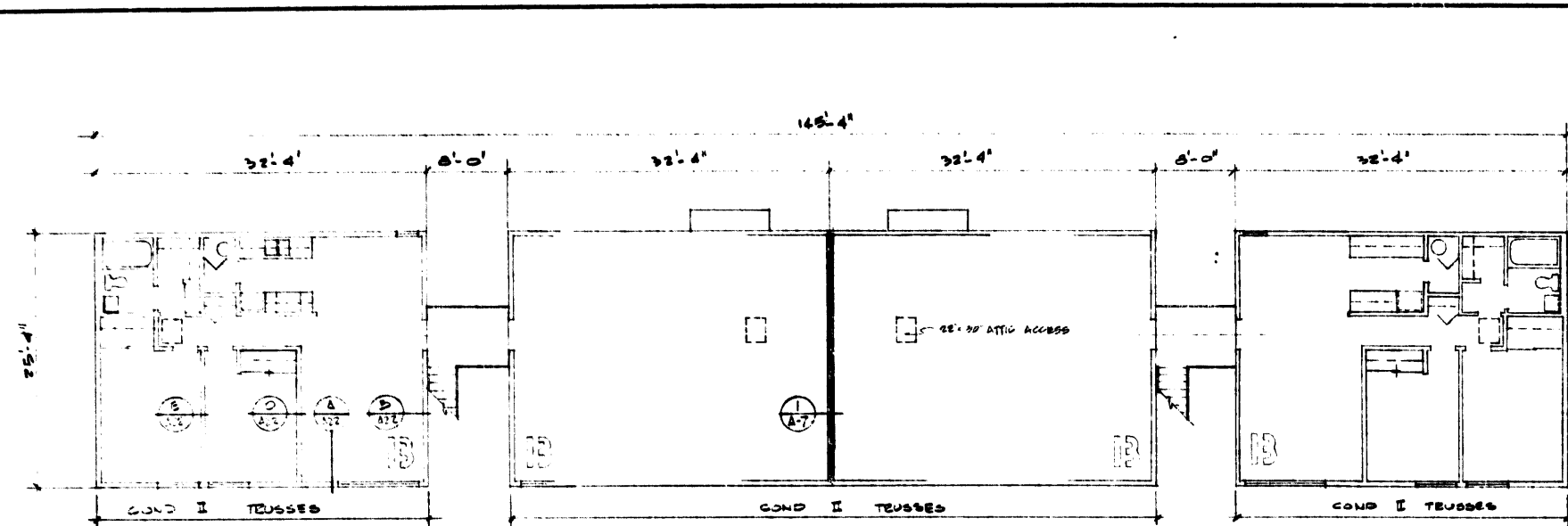
DRAWN
T. C.

CHECKED

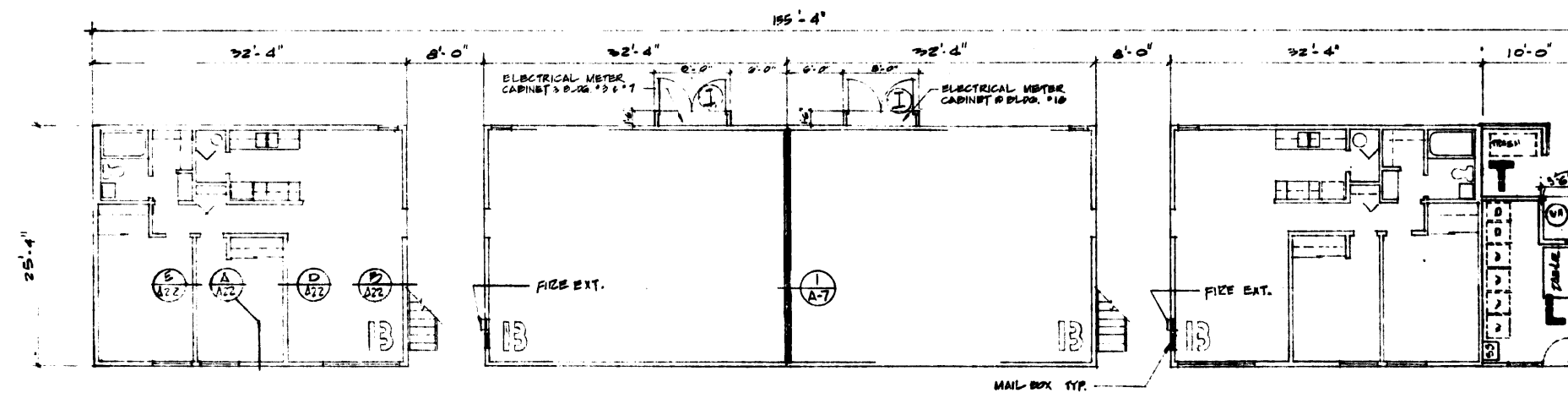
APPROVED

SHEET

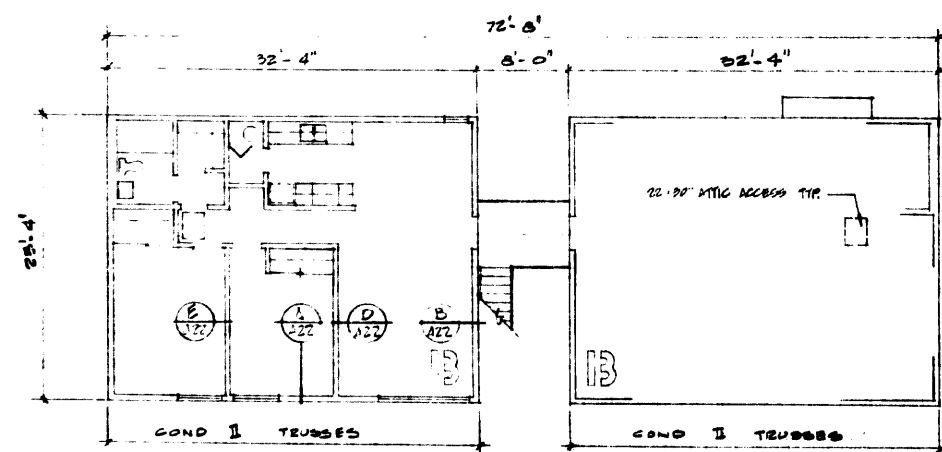
A-6



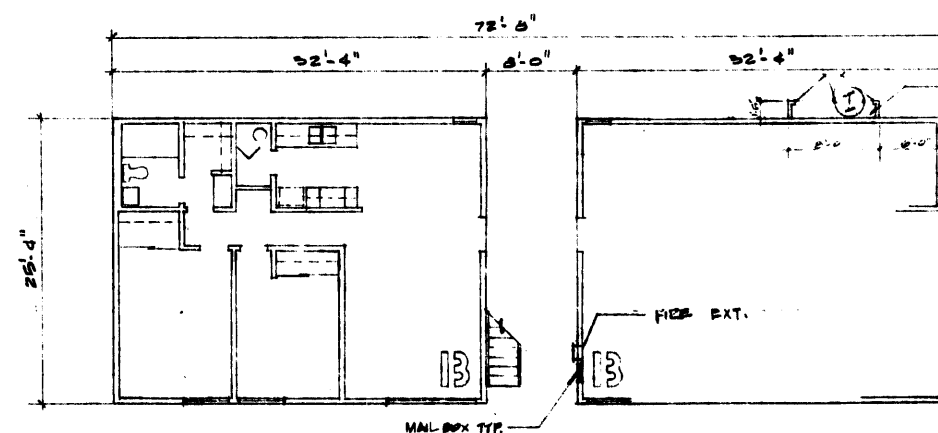
SECOND FLOOR PLAN - BUILDING NO. 3, 7 & 16 (BUILDING 3 SHOWN - X) (7 & 16 OPPOSITE HAND)



FIRST FLOOR PLAN - BUILDING NO. 37416 (BUILDING 3 SHOWN) (7416 OPPOSITE HANO)

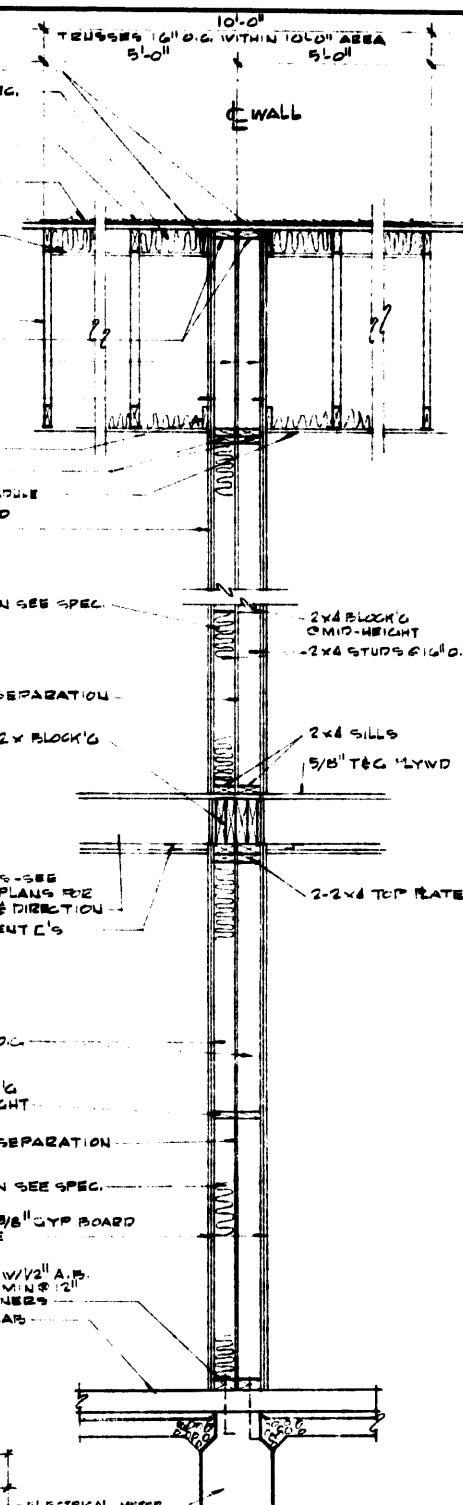


SECOND FLOOR PLAN - BUILDING NO. 5 & 4 scale: $\frac{1}{8}'' = 1'-0''$



FIRST FLOOR PLAN - BUILDING NO. 5 d 14 scale: $\frac{1}{8}'' = 1'-0''$

1x4 NAILER 5 EA. SIDE
INSULATION SEE SPEC.
2x6 G.C. 1. METAL
OVER 3/8" PLYWOOD
SUTG
BUILT-UP COMPO
ROOFING
5/8" GYP BOARD
NOTH ABOVE
TRUSS VERTS
TRUSSES - SEE TRUSS
DRAWINGS FOR
CONSTRUCTION & SEE
FRAMING DRAWINGS
FOR DIRECTION
2x4 PLATE
2x4's @ 16" O.C.
2 LAYERS 5/8" GYP.
BOARD
1x4 NAILER 3 EA. SIDE
2-2x4 TOP PL
SEE GYP BOARD SCHEDULE
2 LAYERS 5/8" G.C. BOARD
5 EA. SID



INSULATION SEE SPEC.

1/2" STUD SEPARATION

4 LAYERS 2X BLOCK @ MID-HEIGHT

2x8 JOISTS - SEE FRAMING PLANS FOR SPACING & DIRECTION

1/2" RESILIENT C's

2x4 @ 16" O.C.

2x4 BLOCK @ MID-HEIGHT

1/2" STUD SEPARATION

INSULATION SEE SPEC.

2 LAYERS 5/8" GYP BOARD EX. SIDE

2x4 SILLS W/ 1/2" A.B. 6x6" C CHANNELS 2" FROM CORNERS

4" CONC. SLAB

ELECTRICAL METER CABINET

SEE FOUNDATION PLAN & DETAILS FOR APPLICABLE FOOTING CONFIGURATION

1

2 HOUR FIRE SEPARATION

SCALE 3/8" = 1'-0"

EDWARD C BARKER
Architect AIA

P. O.	BOX	1267
ORANGE	CALIFORNIA	92668

Edward Brooke
C-241

TEXTEL
INCORPORATED
AREA 714 941-6177

SHEET TITLE
1st FLOOR PLAN
BUILDING NO.
3, 5, 7, 14 & 16

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN JUAN
CBISPO

CONSULTANT

REVISIONS
① JUNE 22, 1970

JOB NO.
152 5-3-70

DESIGNED
ECB

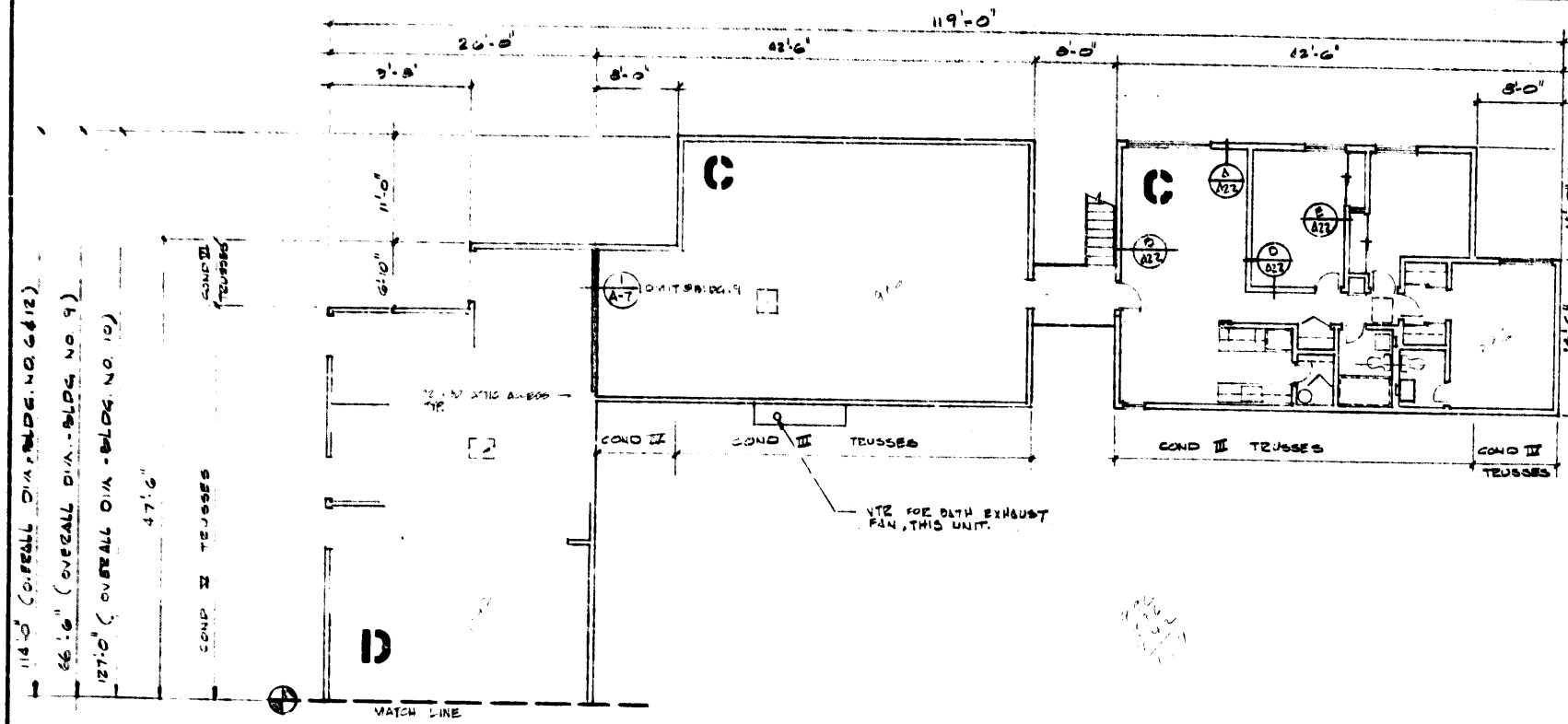
DRAWN
WB

CHECKED

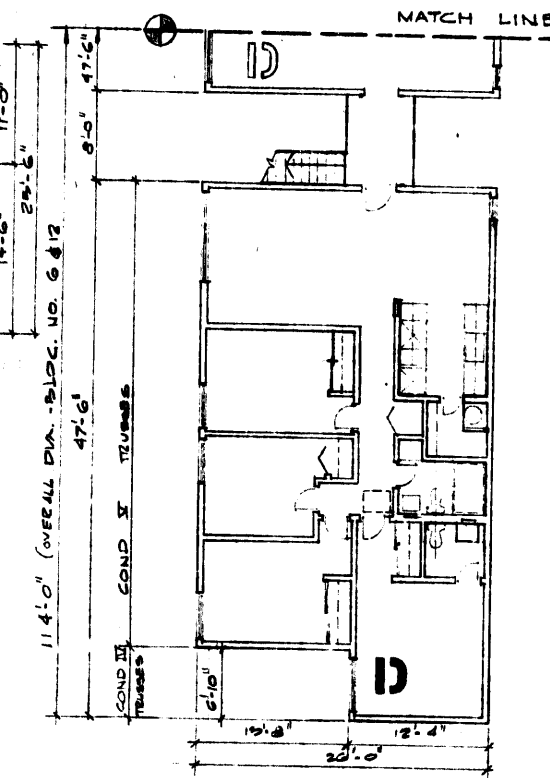
APPROVED

SHEET

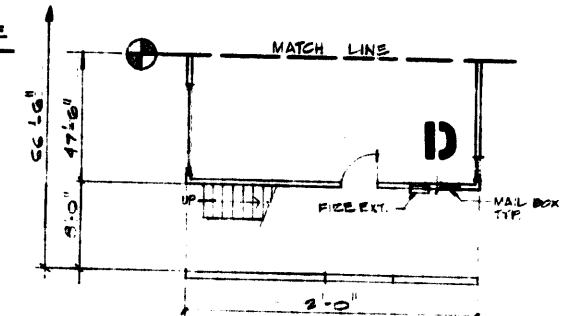
A-7



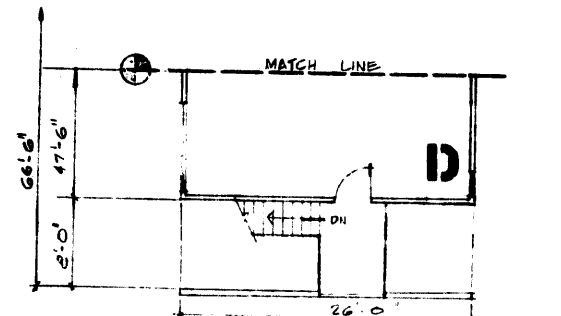
SECOND FLOOR PLAN (BLDG. NO. 6, 9, 10a, 10b & 12)



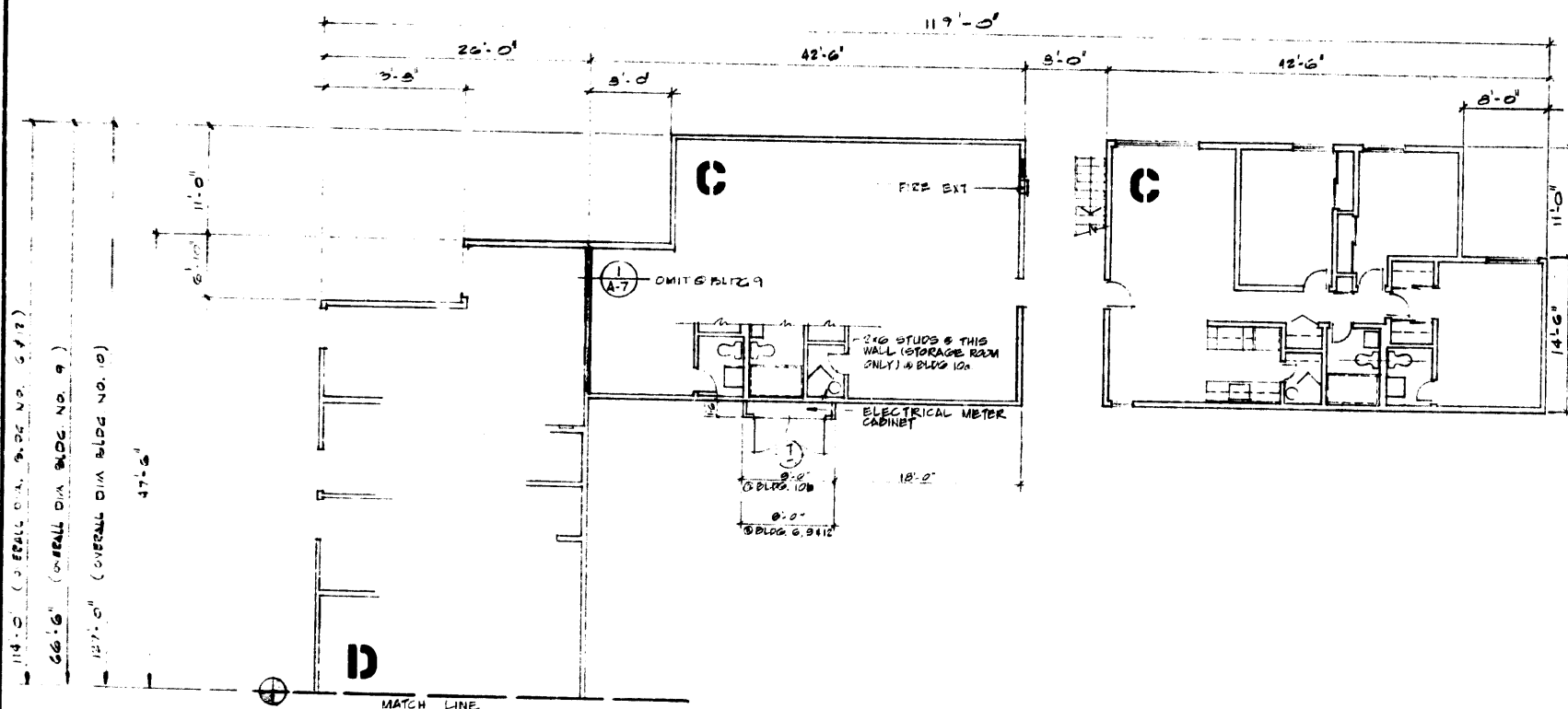
PARTIAL FLOOR PLAN - SOUTH SIDE
BLDG NO. 6 & 9 - SECOND FLOOR



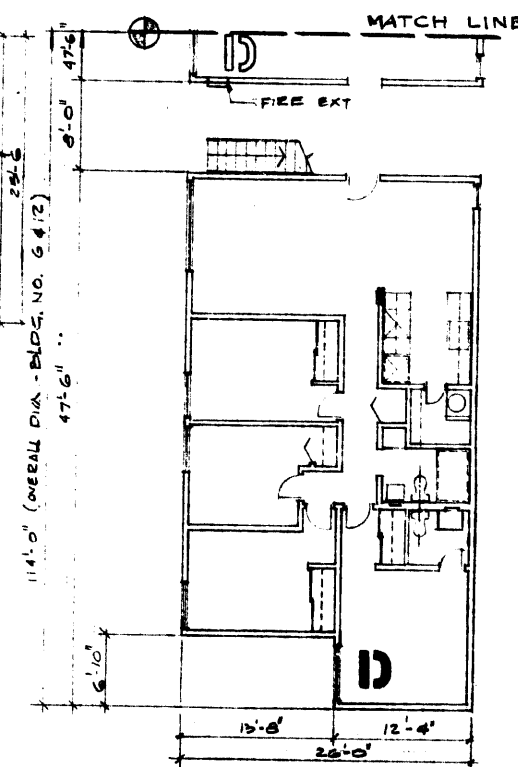
NORTH-END FIRST FLOOR PLAN
BLDG. NO. 9



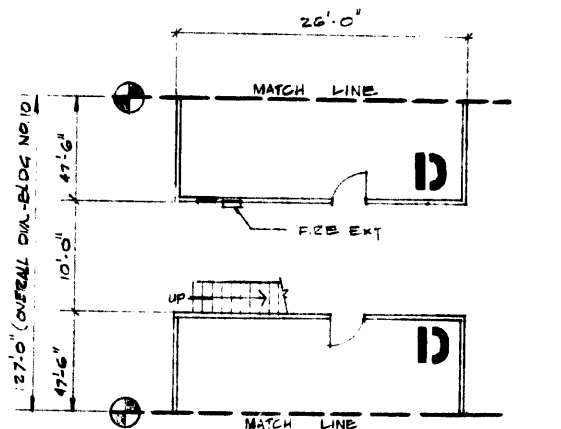
NORTH-END SECOND FLOOR PLAN
BLDG. NO. 9



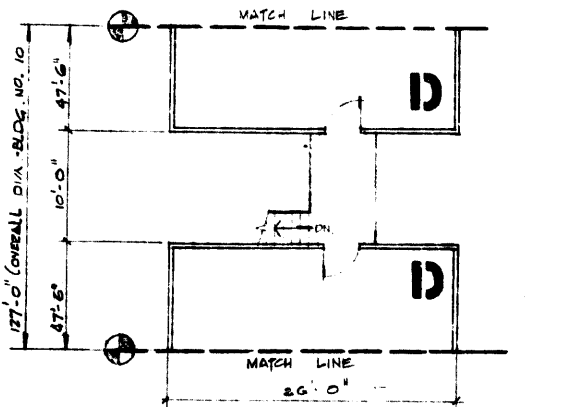
FIRST FLOOR PLAN (BLDG. NO. 6, 9, 10a, 10b & 12)



PARTIAL FIRST FLOOR PLAN
SOUTH SIDE - BLDG NO. 6 & 9



CENTRAL SECTION FIRST
FLOOR PLAN BLDG. NO. 10a & 10b



CENTRAL SECTION SECOND
FLOOR PLAN BLDG. NO. 10a & 10b

NOTE: FOR OTHER INFORMATION SEE
SITE PLAN.

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE CALIFORNIA 92668

TEXTTEL
INCORPORATED
AREA 714 841-8177

SHEET TITLE
10' FLOOR PLAN
BUILDING NO.
6, 9, 10 & 12

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT

REVISIONS
JUNE 27, 1970

JOB NO.
152 S.S. 70

DESIGNED
ECB

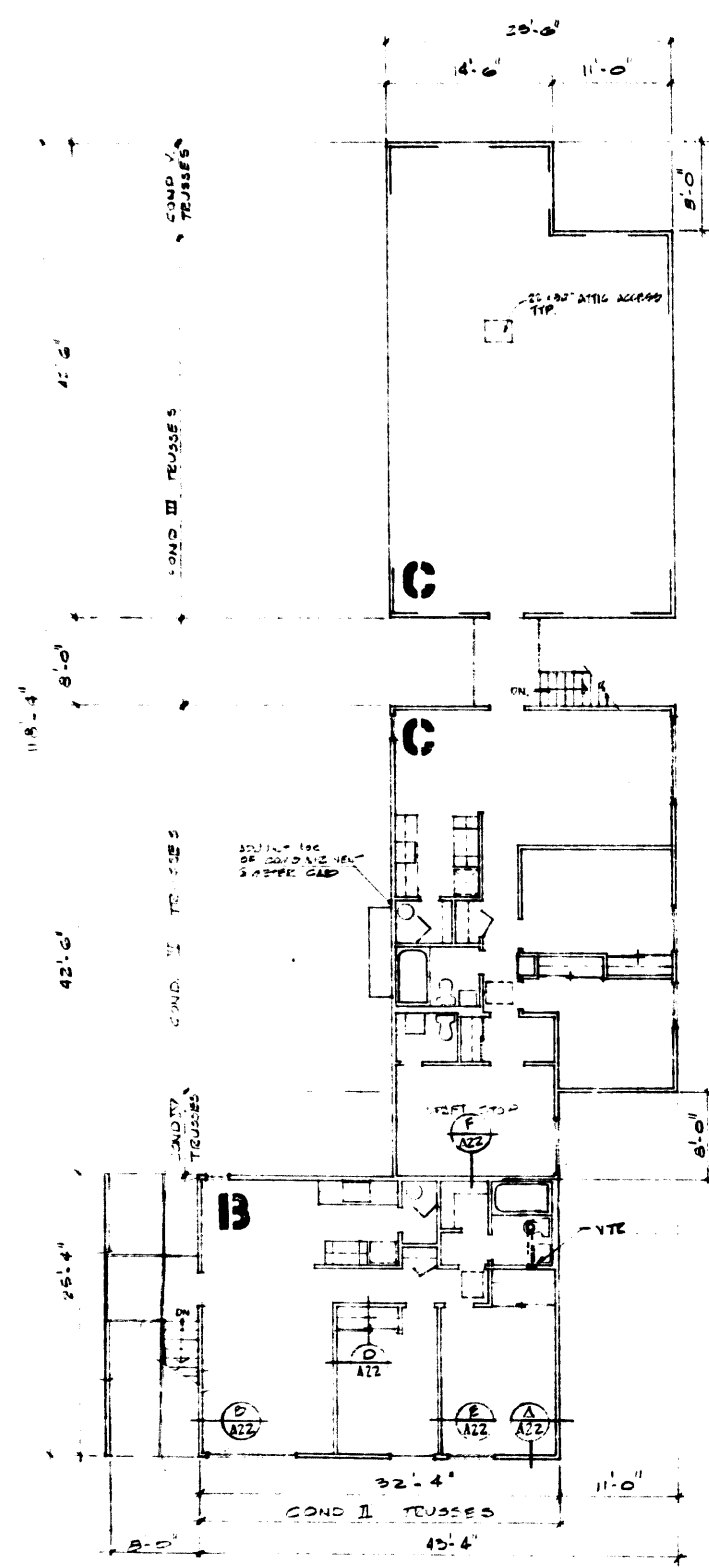
DRAWN
HFA

CHECKED

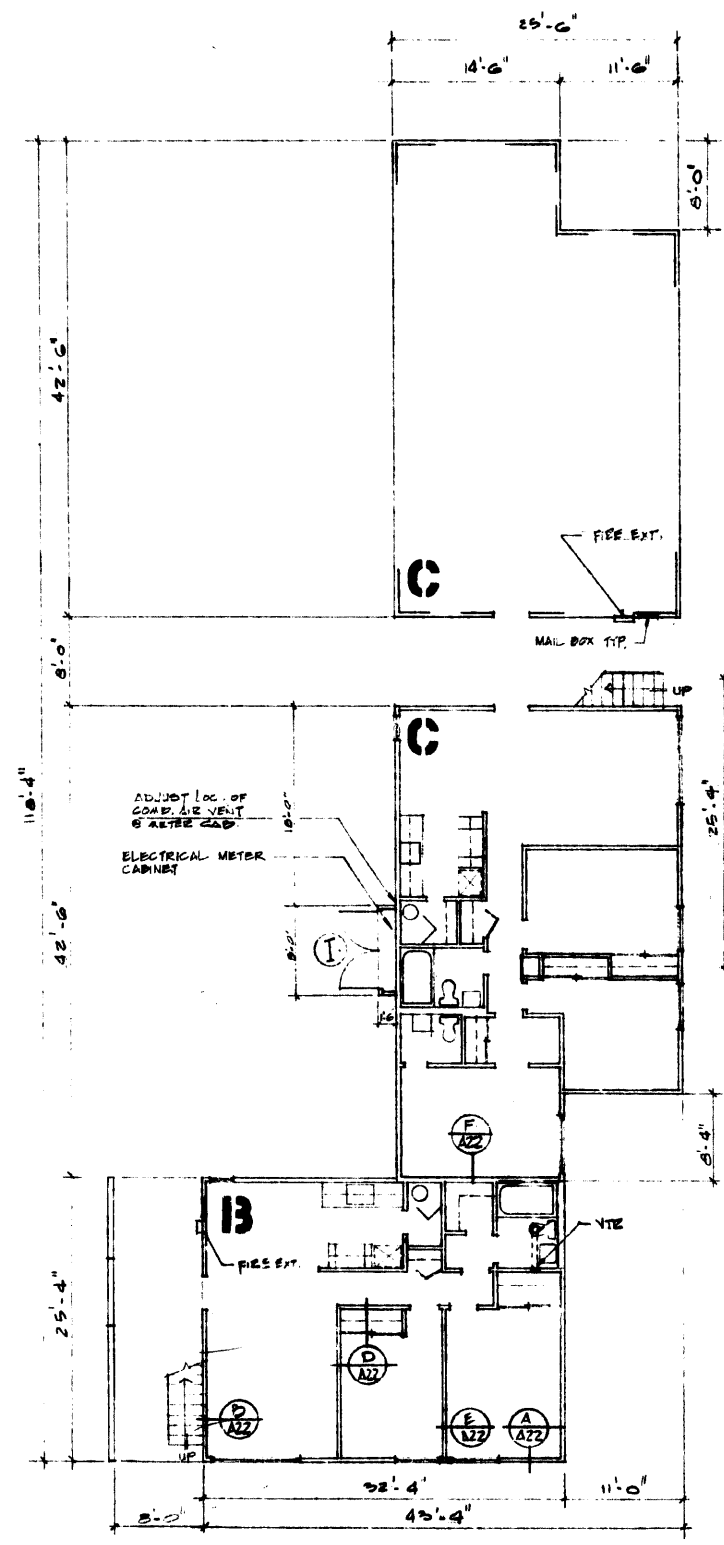
APPROVED

SHEET

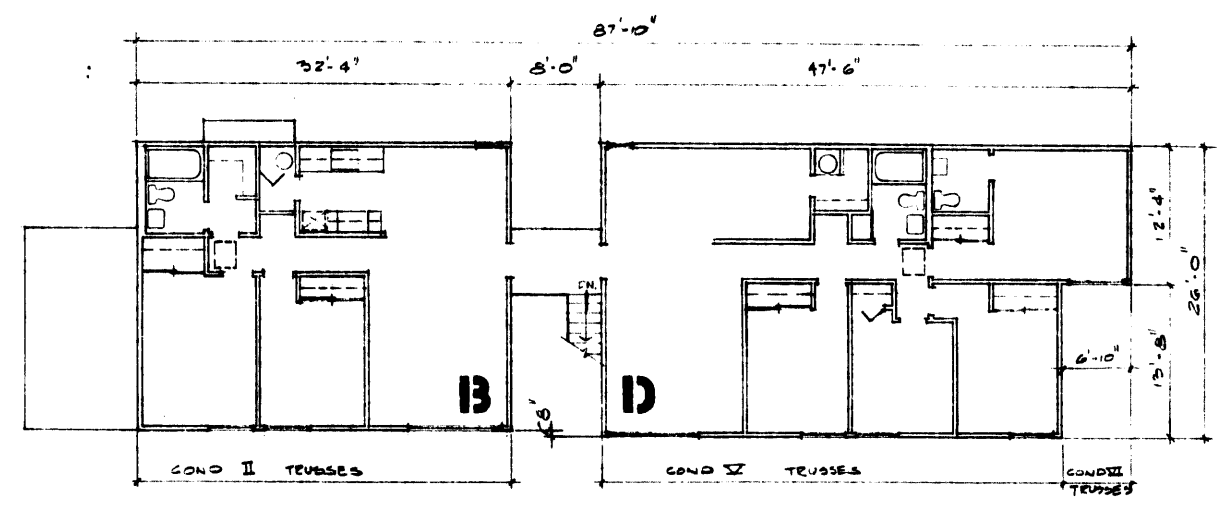
A-8



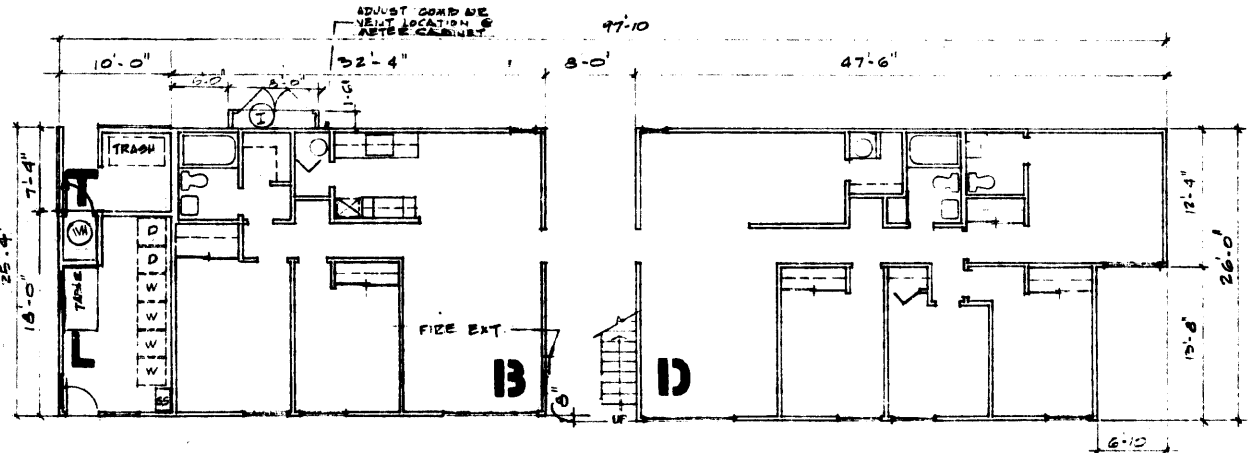
SECOND FLOOR PLAN
BUILDING NO. 11 sc. 1/8" = 1'-0"



FIRST FLOOR PLAN

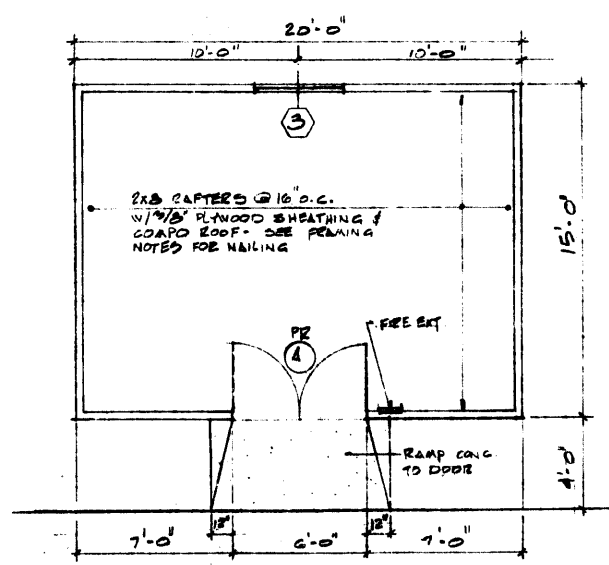


SECOND FLOOR PLAN



FIRST FLOOR PLAN

BUILDING NO. 13 sc. 1/8" = 1'-0"



MAINTENANCE BUILDING (NO. 8) sc. 1/8" = 1'-0"

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE CALIFORNIA 92668

Edward C. Barker
1972

TEXTEL
INCORPORATED
AREA 714 941-6177

SHEET TITLE
1/3 FLOOR PLAN
BUILDING NO.
11 & 13 AND
1/8 FLOOR PLAN
FOR MAINTENANCE
BUILDING (NO. 8)

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT

REVISIONS
1 JUNE 22, 1970

JOB NO.
52 5-3-70

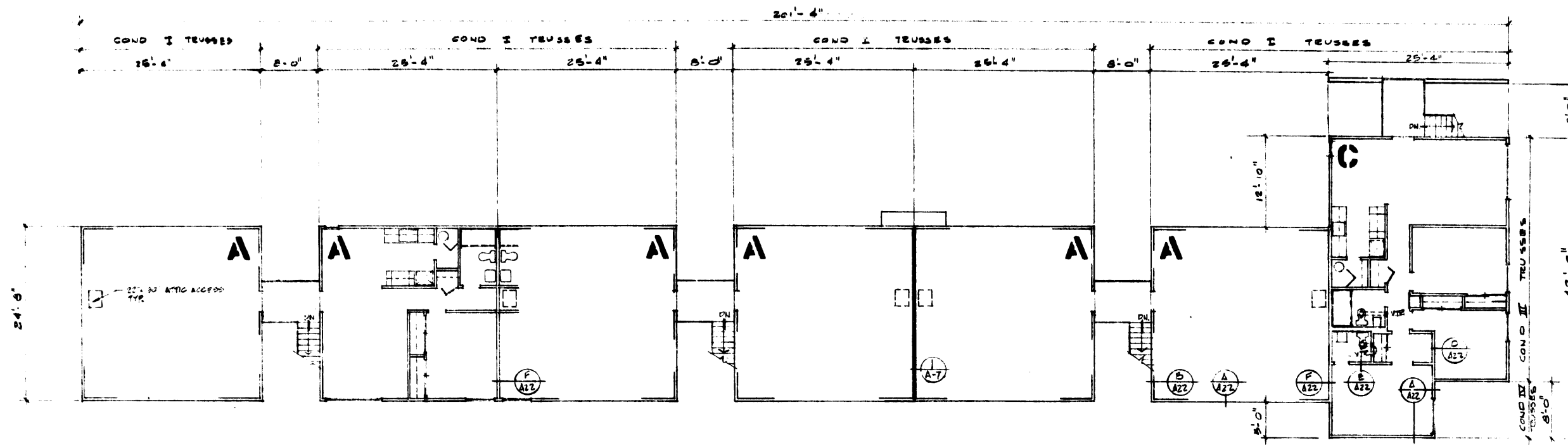
DESIGNED
E. C. B.

DRAWN
T. C.

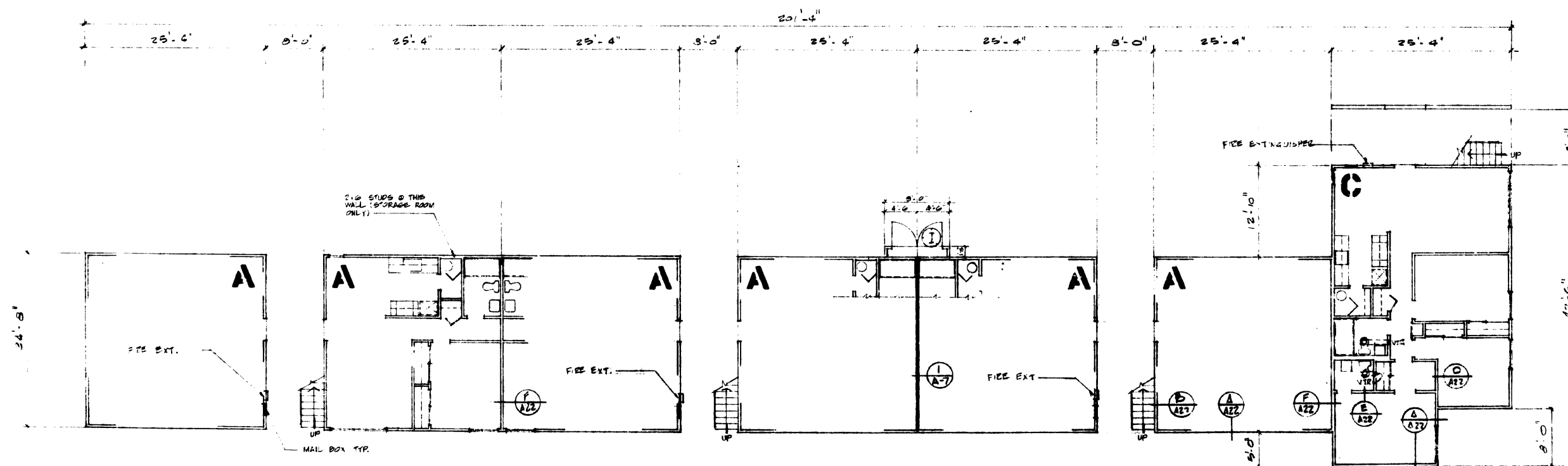
CHECKED

APPROVED

SHEET
A-9



SECOND FLOOR PLAN



FIRST FLOOR PLAN

BUILDING NO. 17 00. 1/8" = 1'-0"

EDWARD C. BARKER
Architect AIA
P.O. BOX 1257
ORANGE, CALIFORNIA 92668
61211
TEXTEL
INCORPORATED
AREA 714 541-6177

SHEET TITLE
1/8" FLOOR PLAN
BUILDING NO. 17

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT

REVISIONS
1 JUNE 22, 1970

JOB NO.
102 5-5-70

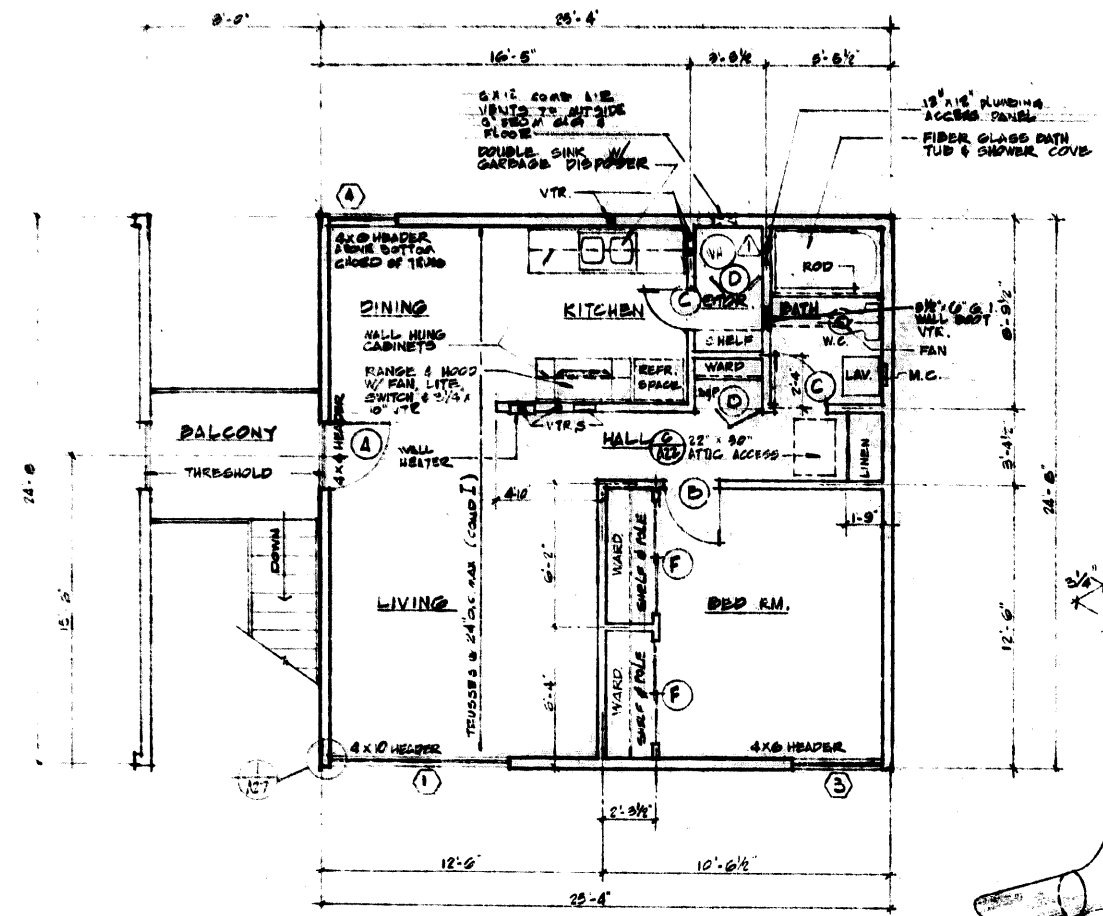
DESIGNED
E. C. B.

DRAWN
T. C.

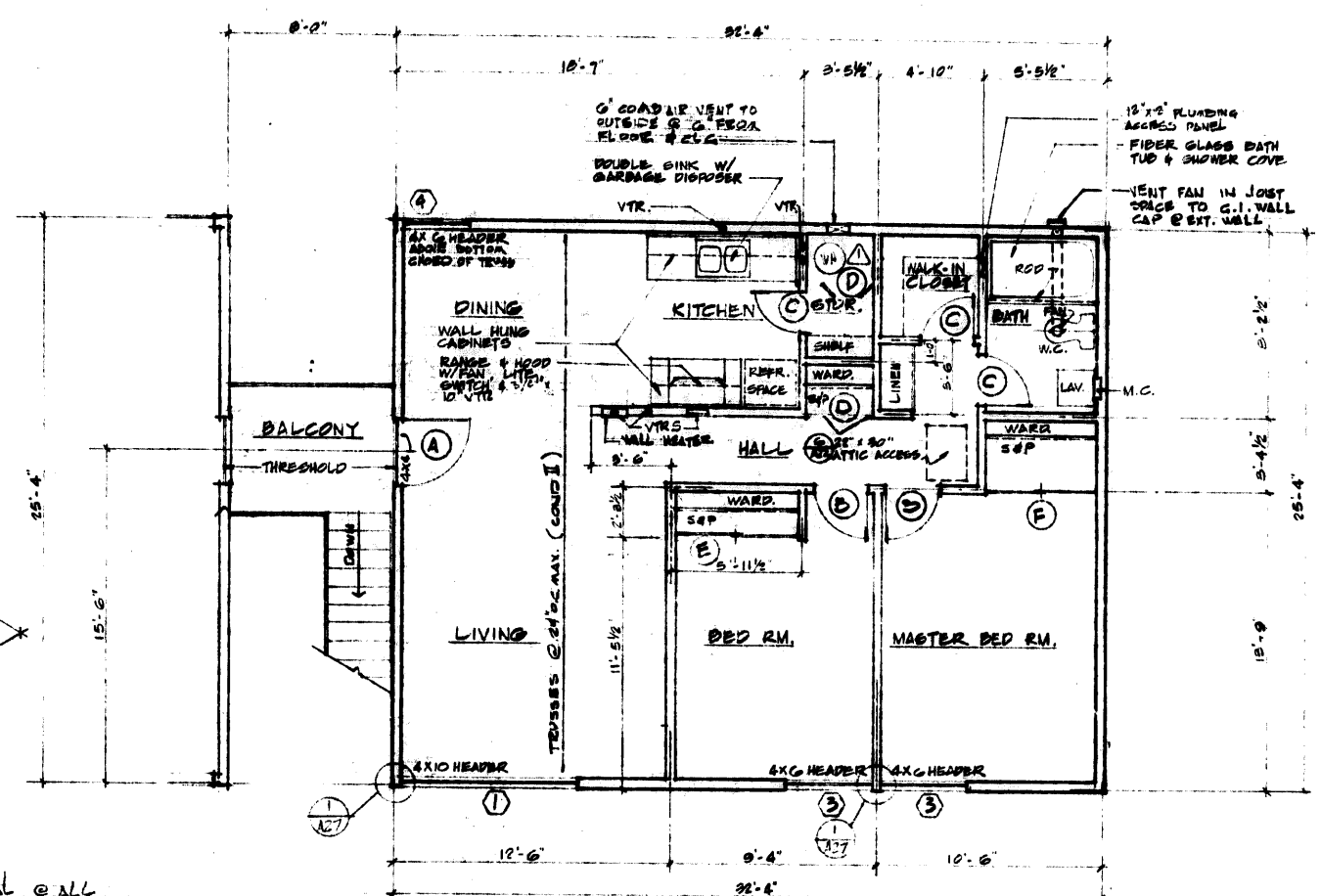
CHECKED

APPROVED

SHEET
A-10



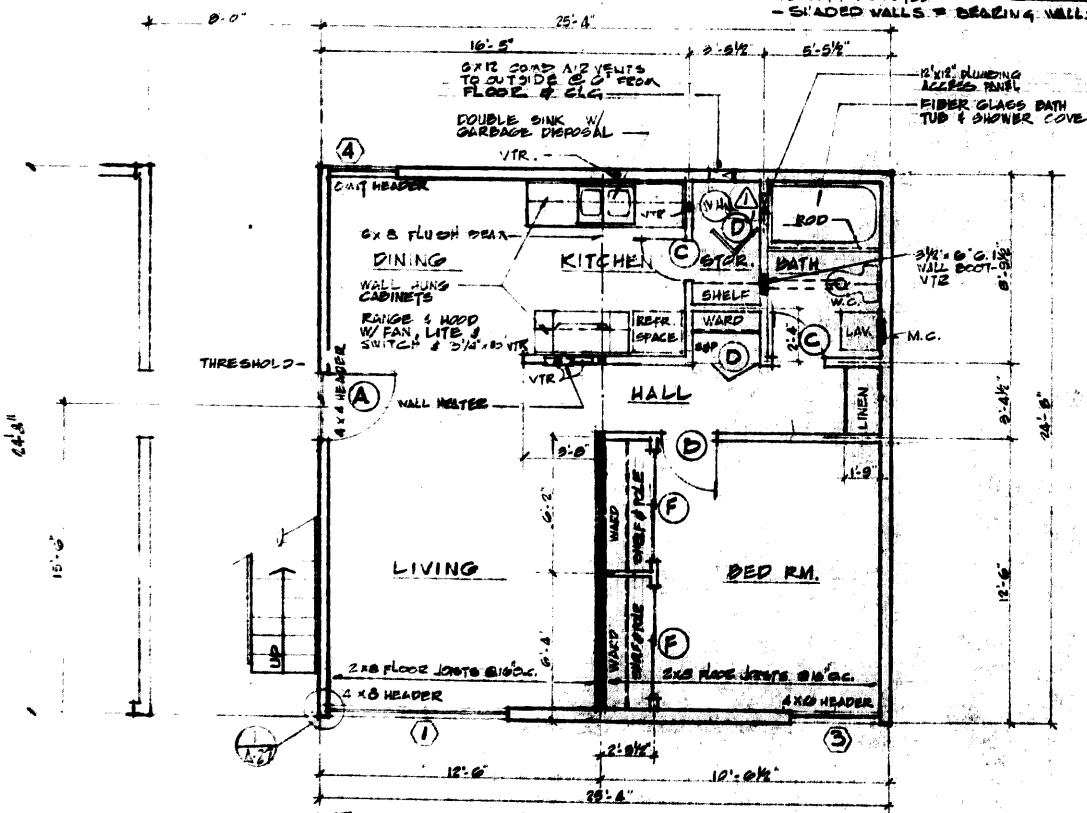
2ND FLOOR PLAN



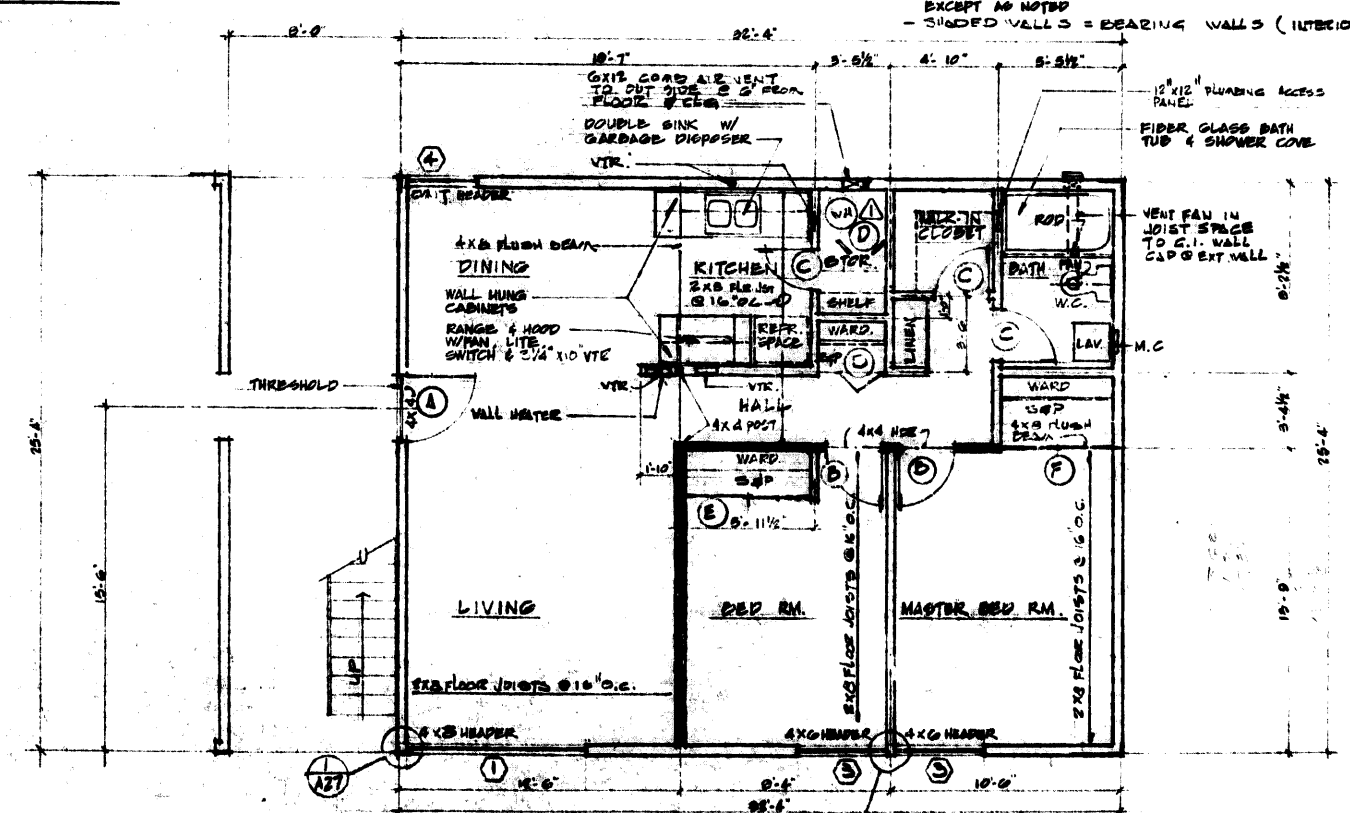
2ND FLOOR PLAN

NOTE
- ALL STUDS ARE 2x4 EXCEPT AS NOTED
- SHADDED WALLS = BEARING WALLS (INTERIOR)

1 DETAIL OF PATH FAN TRANSITION ELBOW NO SCALE



1ST FLOOR PLAN



1ST FLOOR PLAN

A ONE BEDROOM UNIT
GROSS AREA - 614 S.F.

B TWO BEDROOM UNIT
GROSS AREA - 817 S.F.

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1007
GRANDE CALIFORNIA 92036

TEXTIL
INCORPORATED
AREA 716 861-6177

SHEET TITLE
1/4" = 1' SCALE
FLOOR PLANS

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT

REVISIONS
JUNE 22, 1970

JOB NO.
152 5-3-70

DESIGNED
E.C.B.

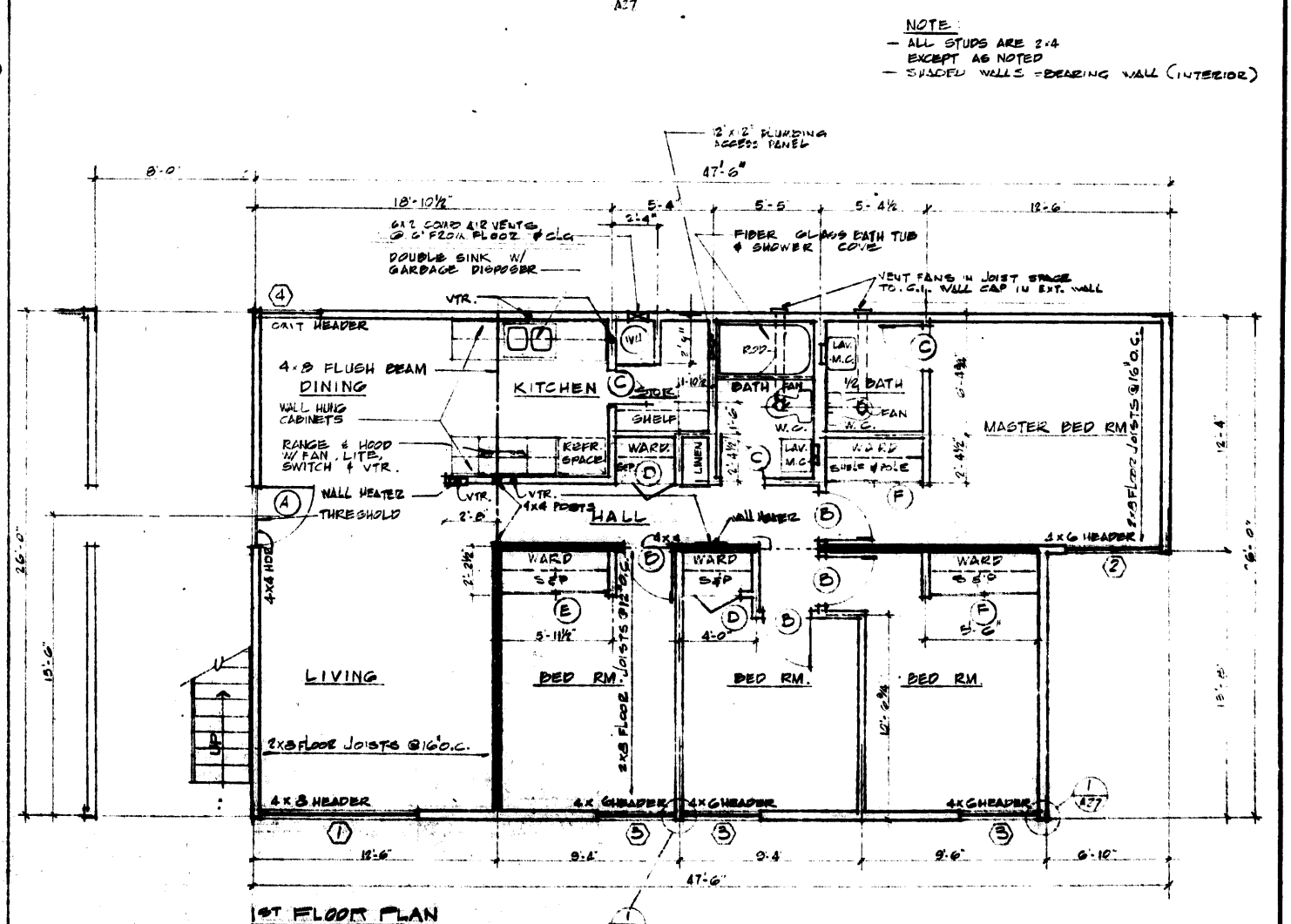
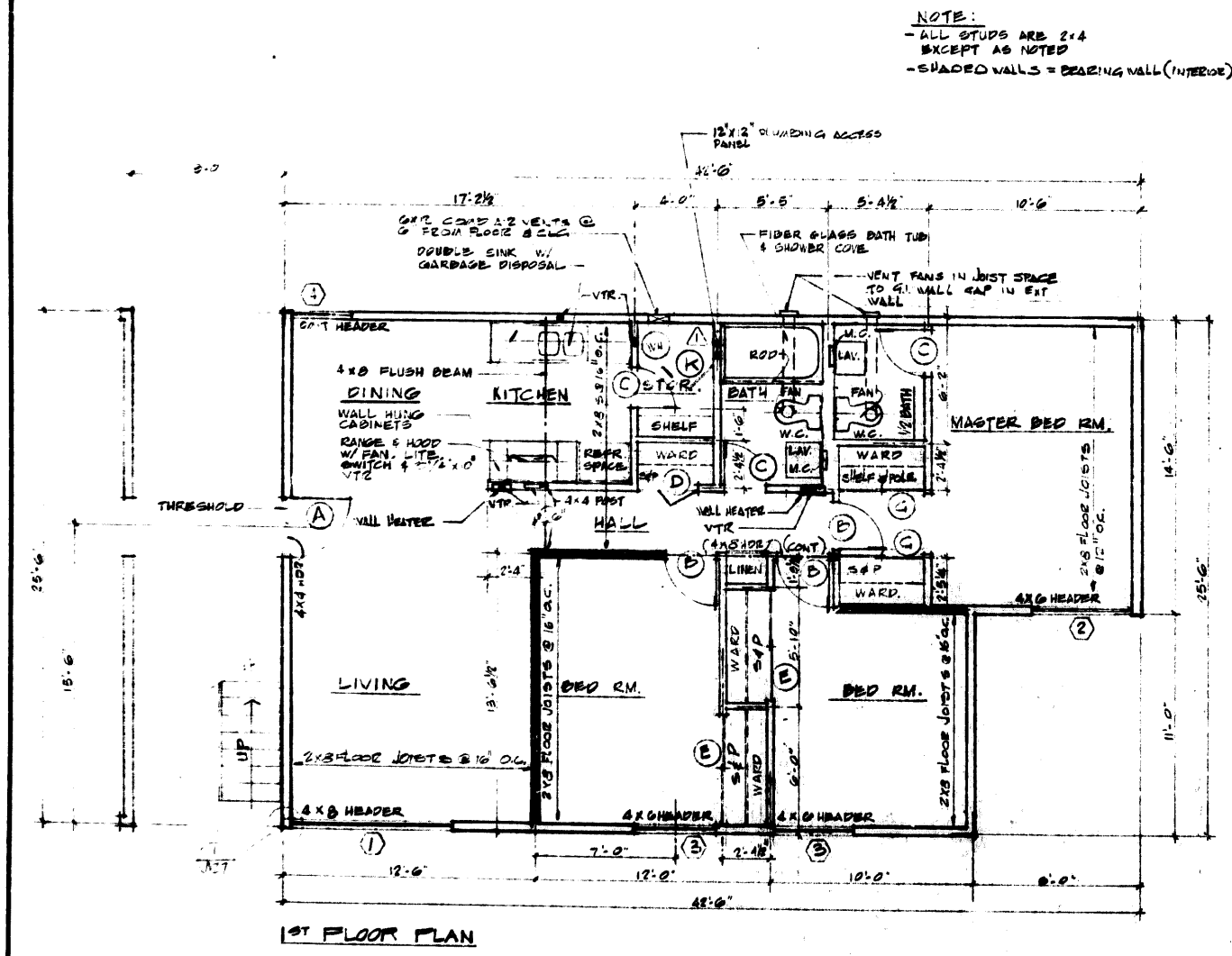
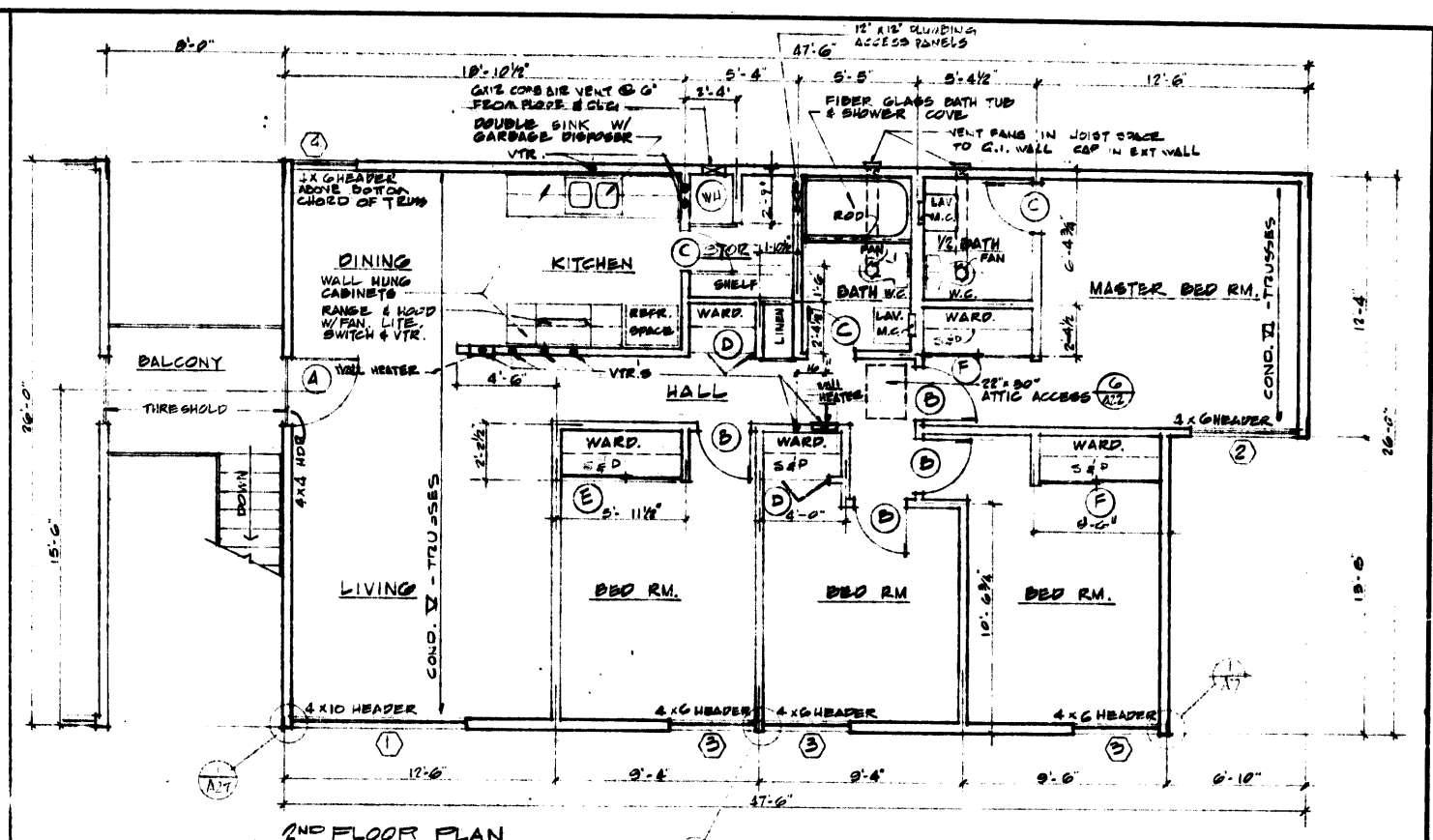
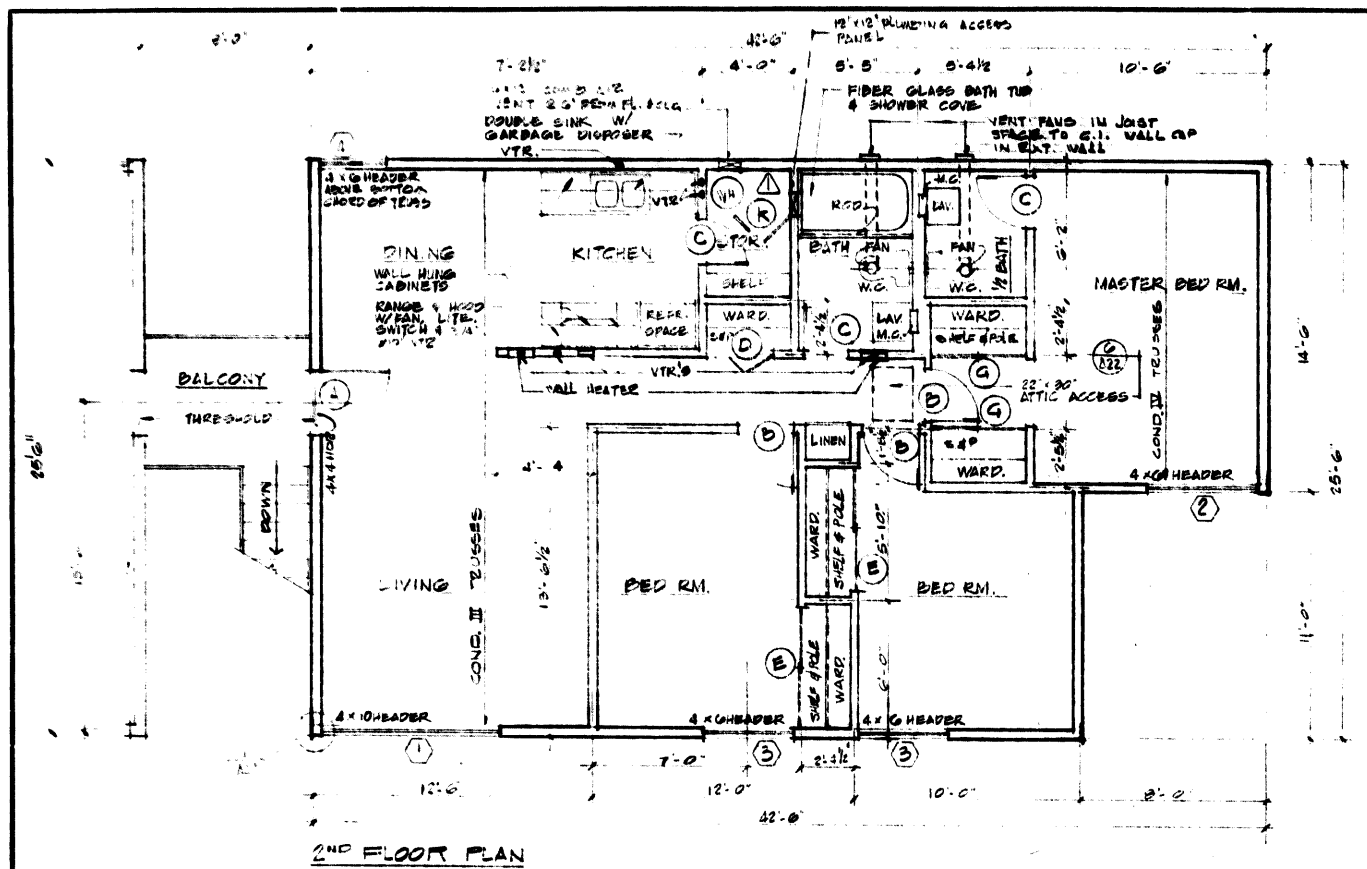
DRAWN
E.C.B.

CHECKED

APPROVED

SHEET

A-11



C **THREE BEDROOM UNIT**
 1/4" = 1'-0"

GROSS AREA - 996 S.F.

B **FOUR BEDROOM UNIT**
 1/4" = 1'-0"

GROSS AREA - 1106 S.F.

EDWARD C. BARKER
 Architect A.I.A.
 P.O. BOX 1287
 ORANGE, CALIFORNIA 92668
 TEXTTEL
 INCORPORATED
 AREA 714 941-6177

SHEET TITLE
 1/4" SCALE
 FLOOR PLANS

PROJECT
 LOS OSOS ROAD
 APARTMENTS

LOCATION
 SAN LUIS
 OBISPO, CALIF.

CONSULTANT

REVISIONS
 1 JUNE 22, 1970

JOB NO.
 168 5-8-70

DESIGNED
 E.C.B.

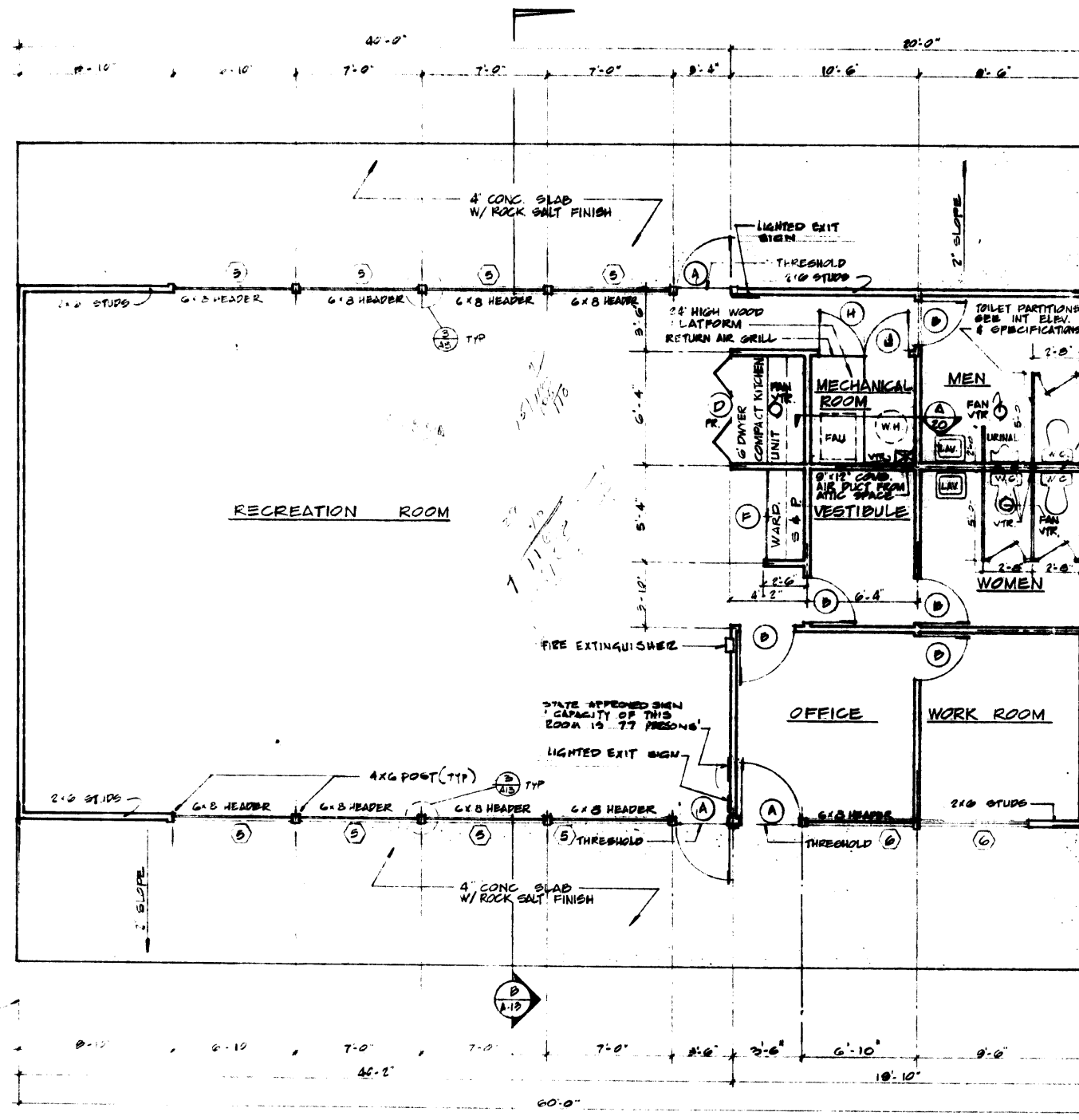
DRAWN
 E.C.B.

CHECKED

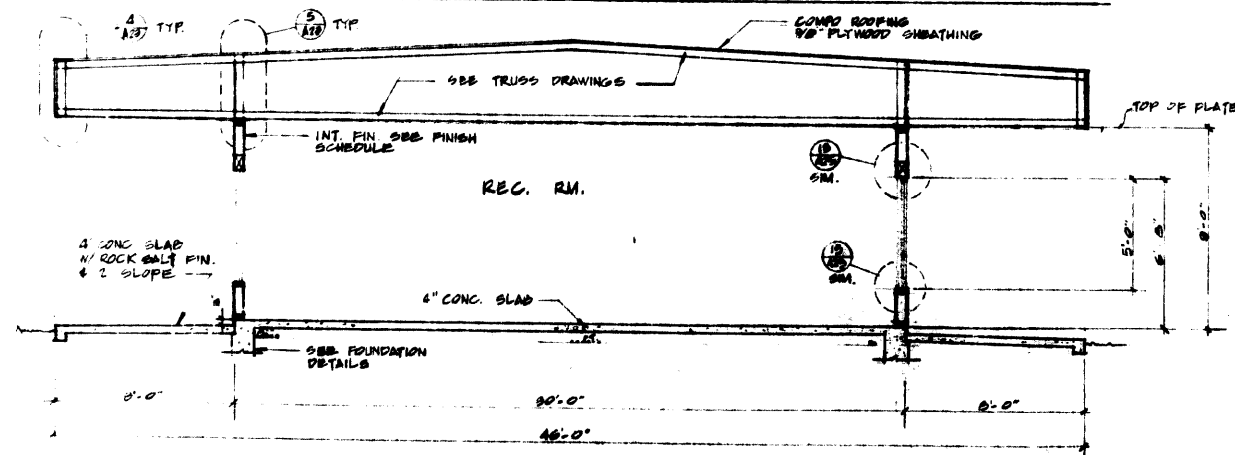
APPROVED

SHEET

A-12



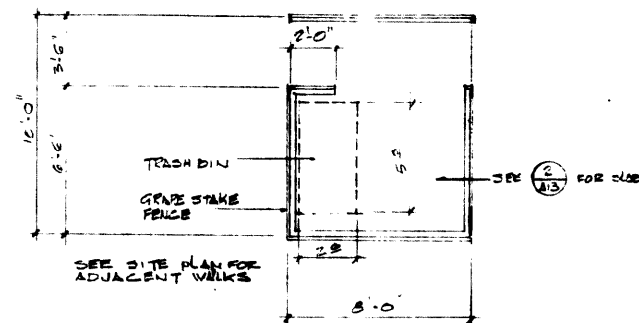
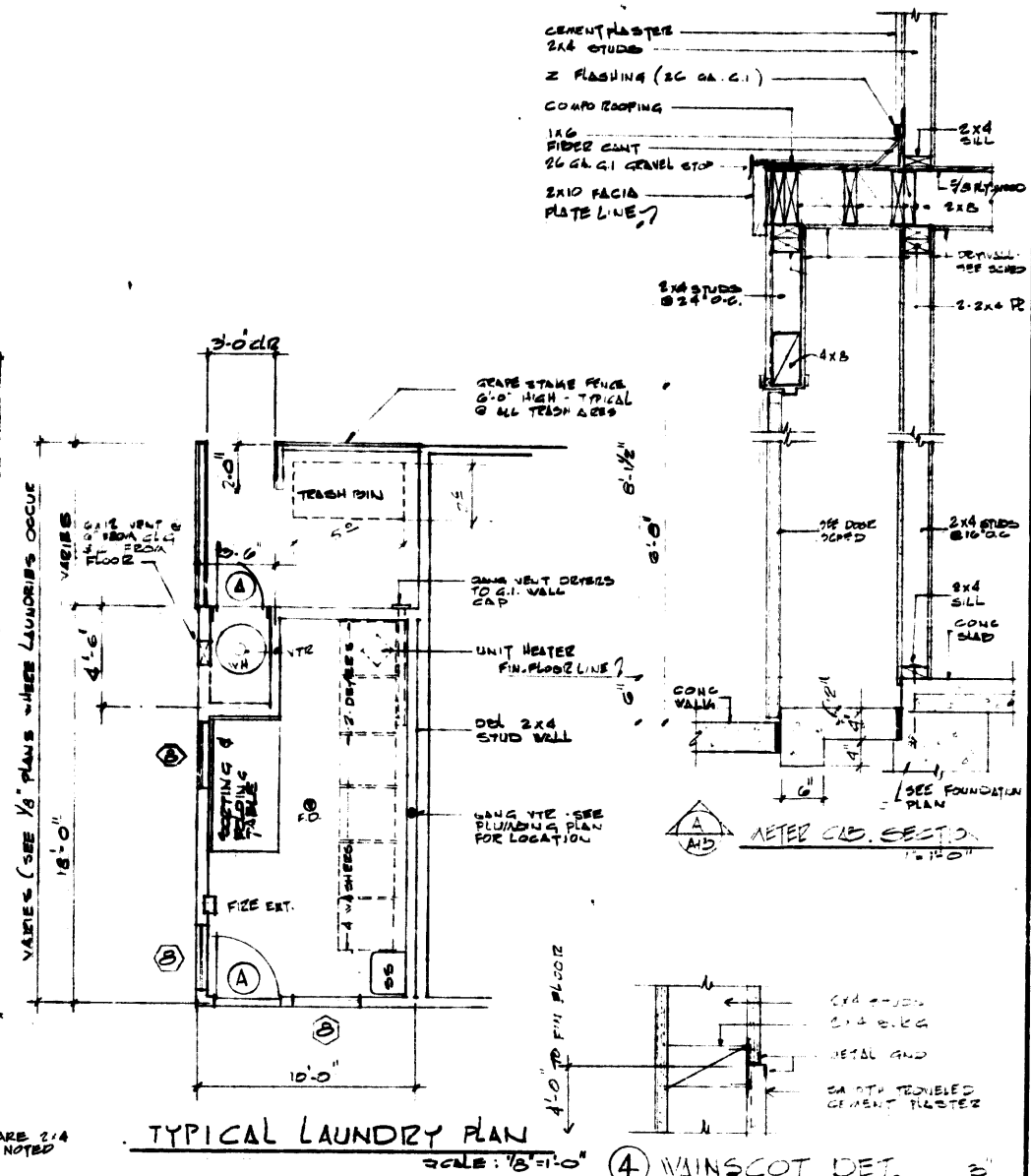
FLOOR PLAN OF RECREATION BUILDING - NO. 19 SCALE: 1/8" = 1'-0"



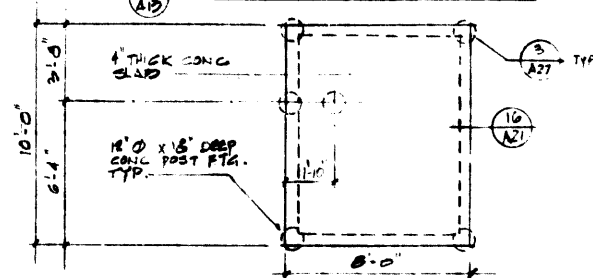
CROSS SECTION A-A SCALE: 1/8" = 1'-0"

NOTE
ALL STUDS ARE 2x4
EXCEPT AS NOTED

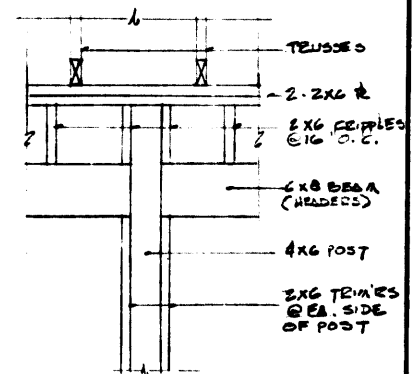
TYPICAL LAUNDRY PLAN SCALE: 1/8" = 1'-0"



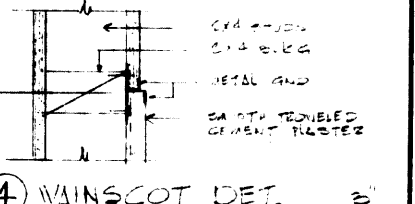
TRASH AREA - PLAN 1/4" = 1'-0"



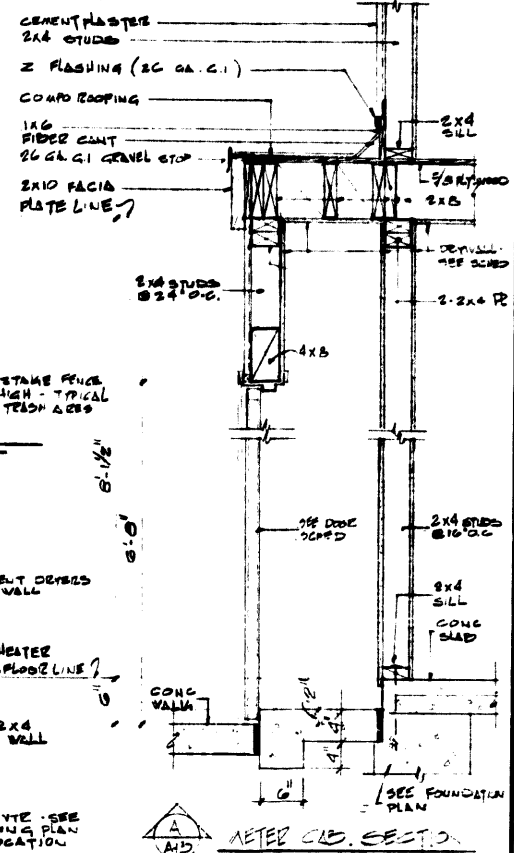
TRASH AREA FOUNDATION PLAN 1/4" = 1'-0"



POST & HEADER FRAMING DETAIL NO SCALE



W1 WINDOW DET. 3"



EDWARD C BARKER
Architect AIA

P.O. BOX 1267
ORANGE, CALIFORNIA 92668

TEXTTEL
INCORPORATED
AREA 714 541-6177

SHEET TITLE
RECREATION
BUILDING -
FLOOR PLAN
& CROSS
SECTION

PROJECT
LOS OLIVOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT

REVISIONS

JOB NO.
198 3-24-70

DESIGNED
E.C.B.

DRAWN
T.C.

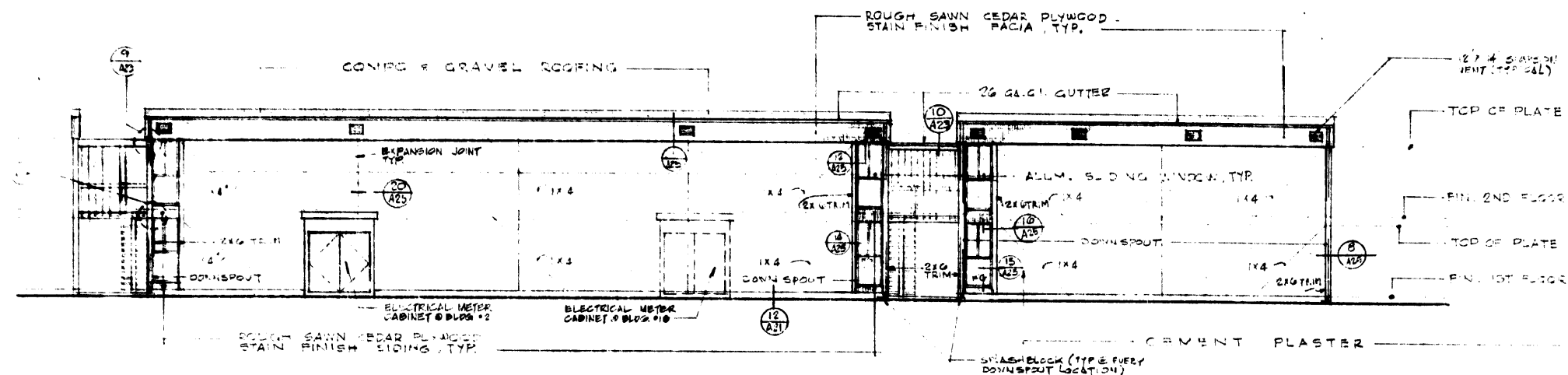
CHECKED

APPROVED

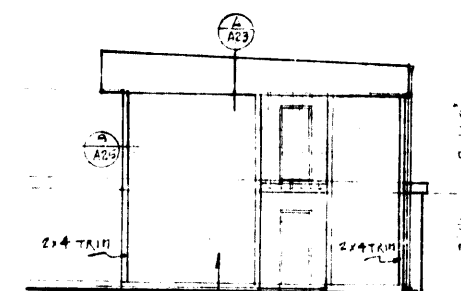
SHEET

A-13

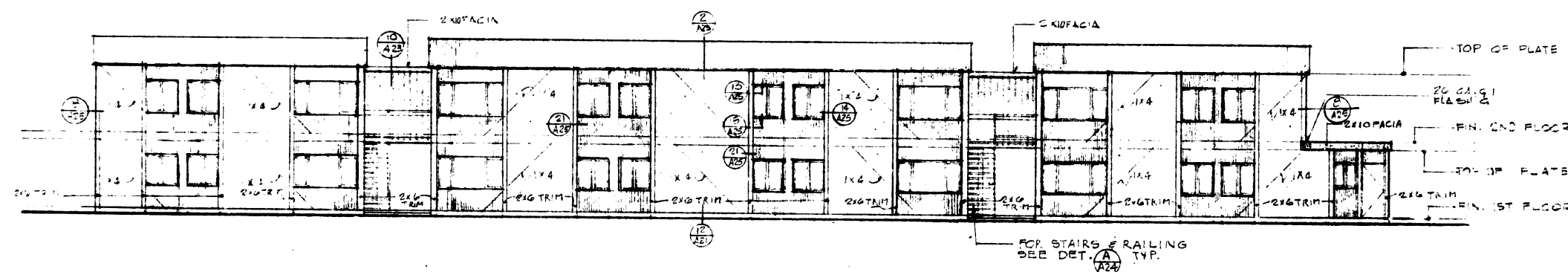
A-14



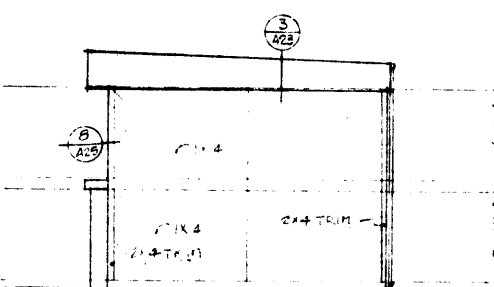
WEST ELEVATION - BLDG. NO. 2 & EAST ELEV. - BLDG. 18



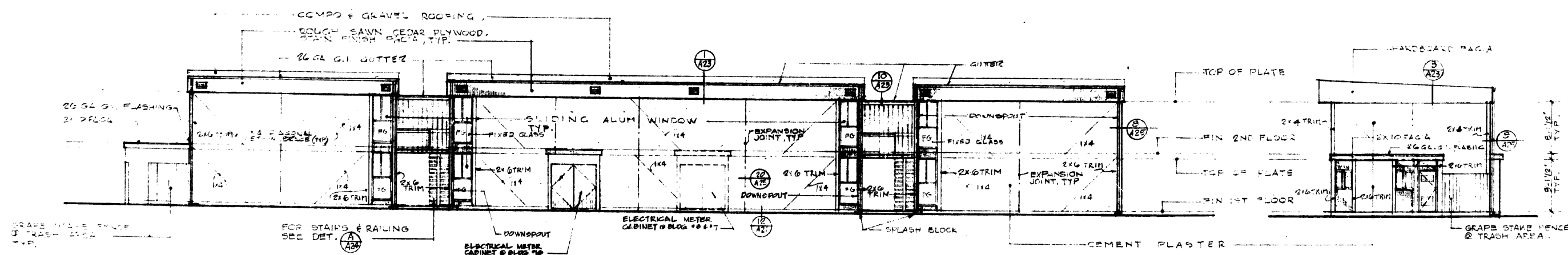
NORTH ELEV. BLDG. 2 & 18



NORTH ELEVATION - BLDG. NO. 3 & 16 (OPPOSITE HAND) — EAST ELEV. BLDG. NO. 7

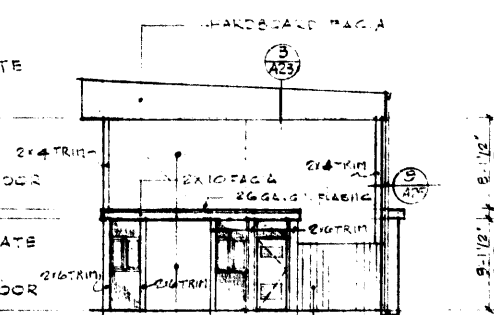


EAST ELEV. - BLDG. NO. 3, WEST ELEV. - BLDG. NO. 16 & SOUTH ELEV. BLDG. NO. 7
SCALE 1/8"=1'-0"



SOUTH ELEVATION - BLDG. NO. 3 & 16 (OPPOSITE HAND) — WEST ELEV. - BLDG. NO. 7

SCALE 1/8"=1'-0"



WEST ELEV. - BLDG. NO. 3
EAST ELEV. - BLDG. NO. 16 (OPPOSITE HAND)
NORTH ELEV. - BLDG. NO. 7

EDWARD C. BARKER
Architect AIA

P.O. BOX 1587
ORANGE, CALIFORNIA 92668

TEXTTEL
INCORPORATED
AREA 714 541-6177

SHEET TITLE
ELEVATIONS

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT

REVISIONS

JOB NO. 152
5-5-70

DESIGNED
E.C.B.

DRAWN
H.F.A.

CHECKED

APPROVED

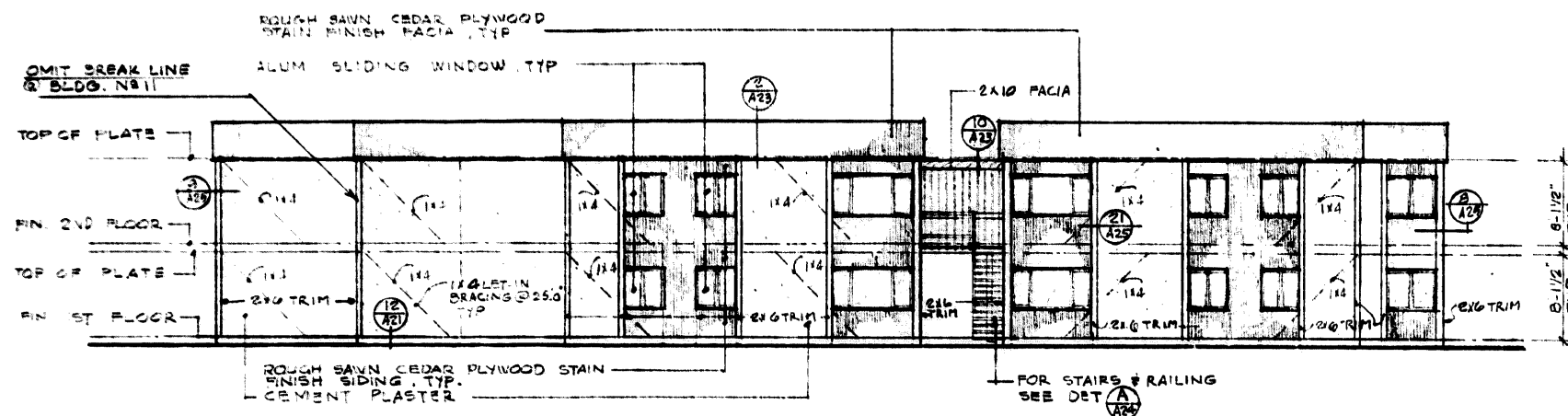
SHEET

A-15

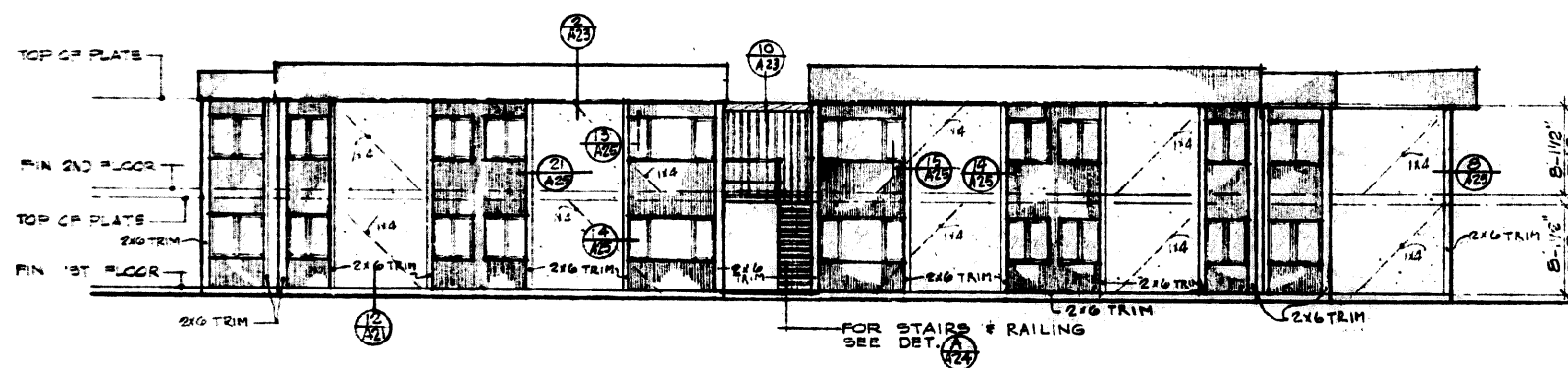
Notes:

- NORTH & SOUTH ELEV. OF BLDG. NO. 4 SAME AS EAST ELEV. OF BLDG. NO. 3.
- SOUTH ELEV. OF BLDG. NO. 15 SAME AS EAST ELEV. OF BLDG. NO. 3.
- NORTH ELEV. OF BLDG. NO. 15 SAME AS EAST ELEV. OF BLDG. NO. 6.

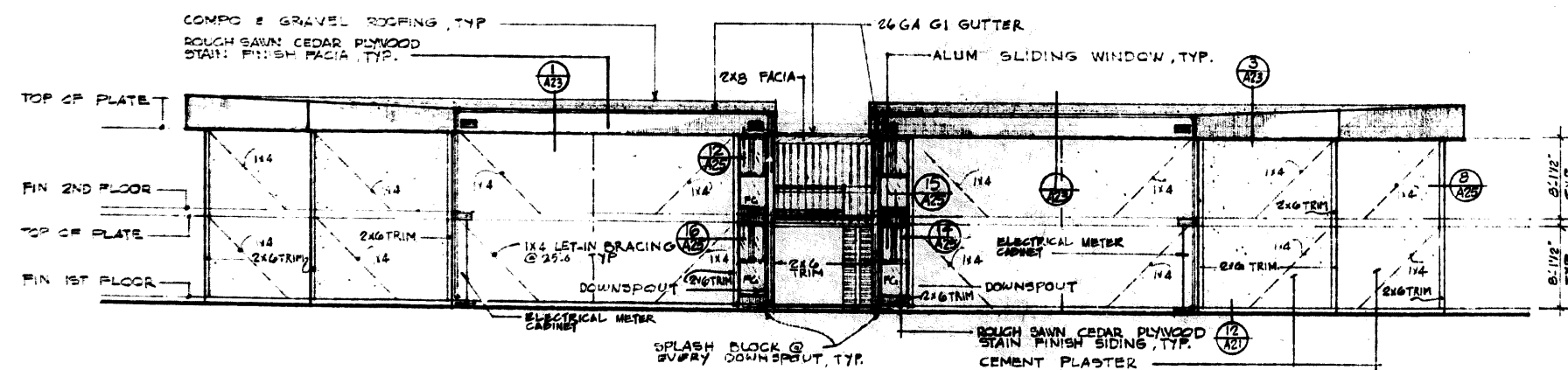
A-16



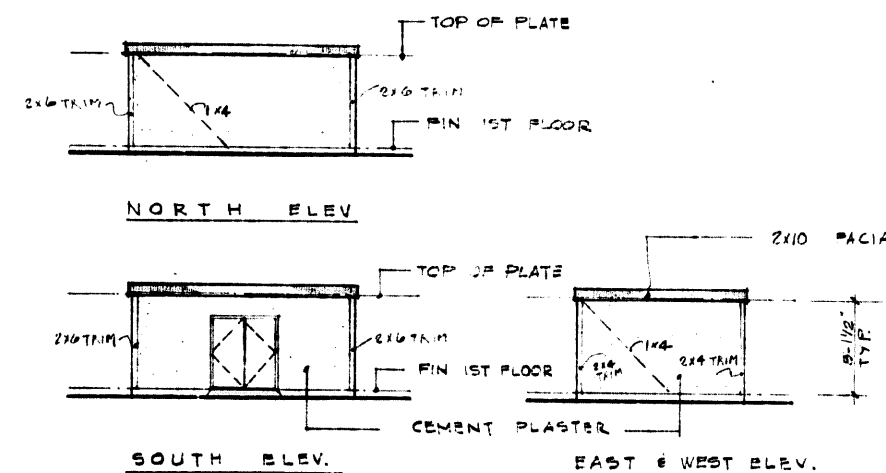
NORTH ELEVATION BLDG. NO 6
 NORTH ELEV. BLDG. NO 12 (OPPOSITE HAND)
 SOUTH ELEV. BLDG NO 11 SCALE 1/8"=1'-0"



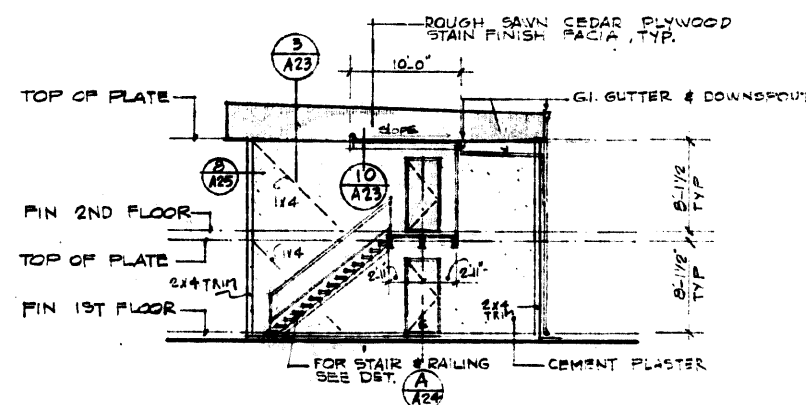
EAST ELEVATION BLDG. NO 6
 WEST ELEV. BLDG. NO 12 (OPPOSITE HAND) SCALE 1/8"=1'-0"



NORTH ELEVATION BLDG. NO 10 (a+b). SCALE 1/8"=1'-0"



MAINTENANCE BLDG. NO 8 SCALE 1/8"=1'-0"



TYP. BREEZEWAY SECTION
 SCALE 1/8"=1'-0"

EDWARD C. BARKER
 Architect A.I.A.

P.O. BOX 1887
 ORANGE CALIFORNIA 92666

Edward C. Barker
 6/24

TEXTTEL
 INCORPORATED
 AREA 716 841-6177

SHEET TITLE

ELEVATIONS

BLDG. NO 6, 8,
 10 & 12

PROJECT
 LOG COUN ROAD
 APARTMENTS

LOCATION
 SAN LUIS
 OBISPO, CALIF.

CONSULTANT

REVISIONS

JOB NO.
 152 5-8-70

DESIGNED
 E.C.B.

DRAWN
 H.F.A.

CHECKED

APPROVED

SHEET

A-17

EDWARD C BARKER
Architect A.I.A.

P.O. BOX 1267
GRANDE CALIFORNIA 92008

TEXTTEL
INCORPORATED
AREA 714 841-6177

SHEET TITLE

ELEVATIONS

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT

REVISIONS

JOB NO. 152 5-2-70

DESIGNED
E. C. B.

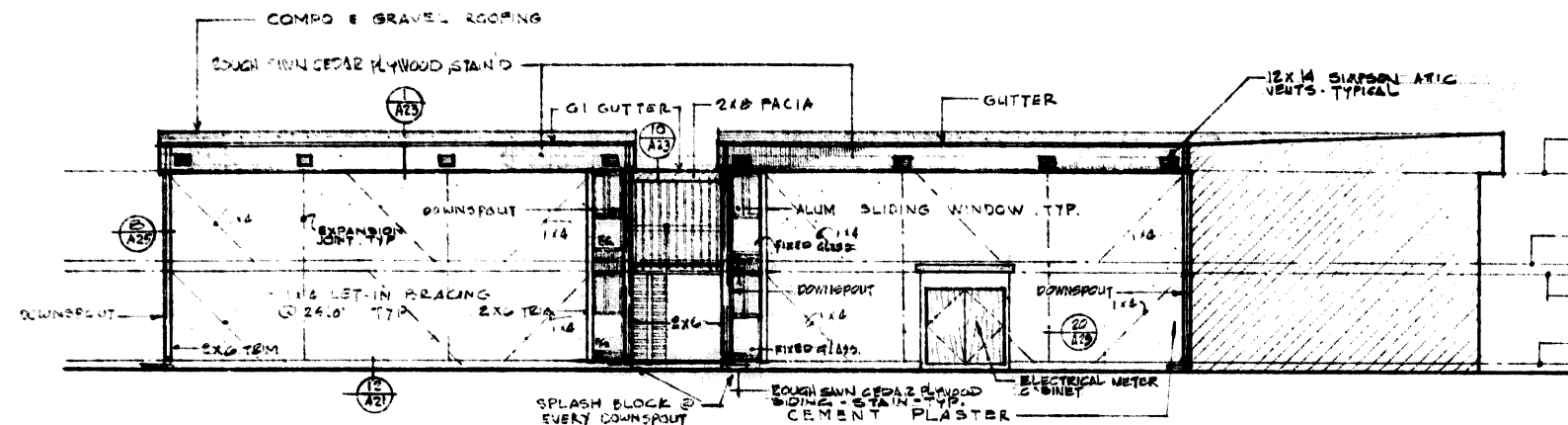
DRAWN
H. F. A.

CHECKED

APPROVED

SHEET

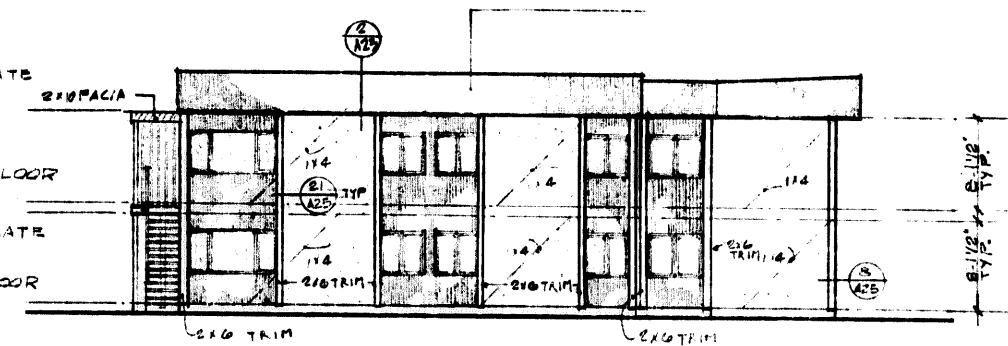
A-18



NORTH ELEV. - BLDG. NO 9 & 11
EAST ELEV. - BLDG. NO 102 (OPPOSITE HAND)
WEST ELEV. - BLDG. NO 105

NOTE:

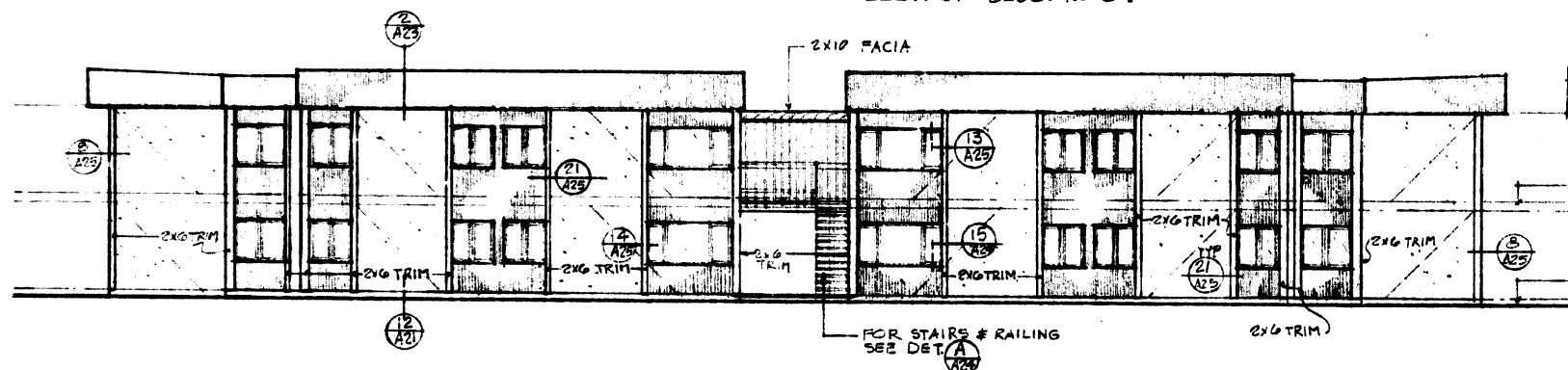
- WEST ELEVATION OF BLDG. NO 102 IS SAME AS NORTH ELEV. OF BLDG. NO 6 (OPPOSITE HAND)
- EAST ELEV. OF BLDG. NO 105 IS SAME AS NORTH ELEV. OF BLDG. NO 6.



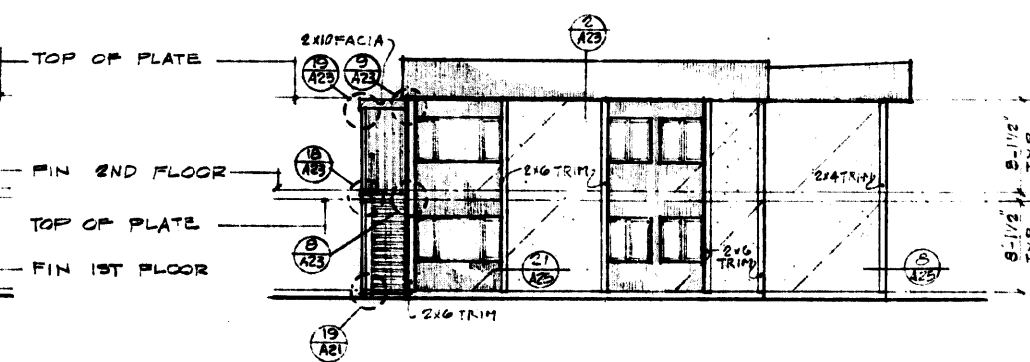
WEST ELEVATION - BLDG. NO 9

NOTE:

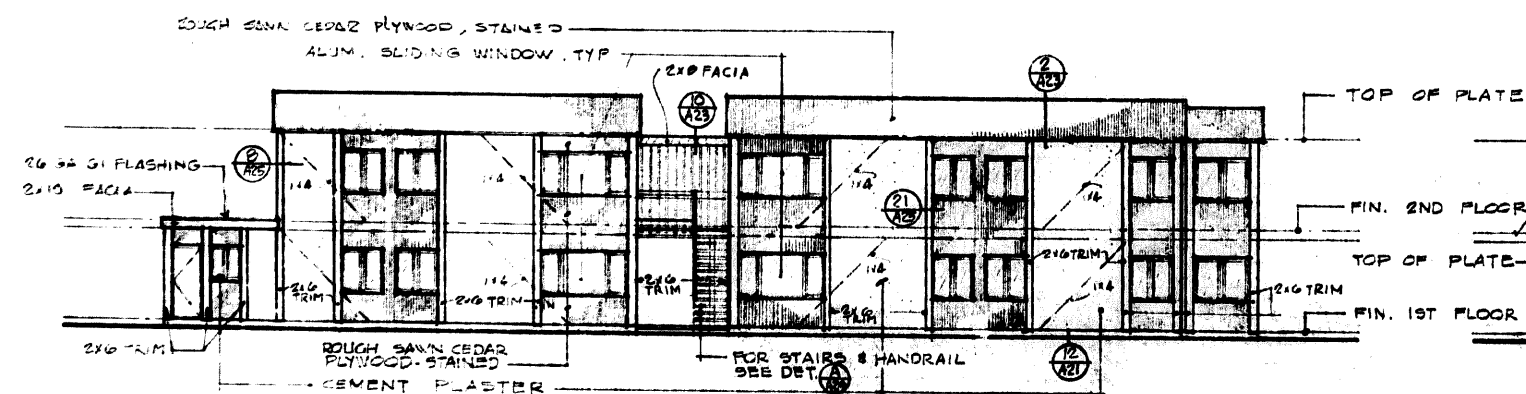
- EAST ELEV. OF BLDG. NO 9 & 11 SAME AS SOUTH ELEV. OF BLDG. NO 2 (OPPOSITE HAND)
- SOUTH ELEV. OF BLDG. NO 9 SAME AS NORTH ELEV. OF BLDG. NO 6.
- NORTH END OF BLDG. NO 9 & 11 SAME AS NORTH ELEV. OF BLDG. NO 2.



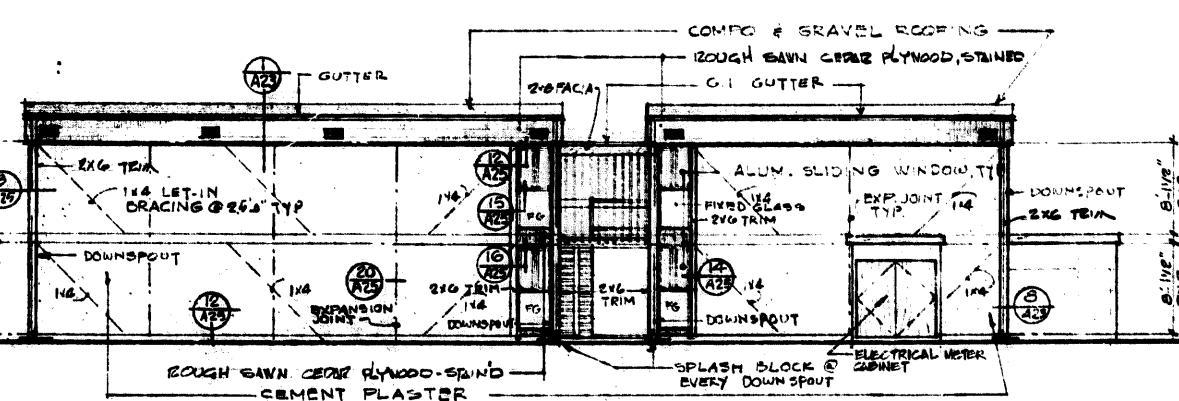
SOUTH ELEVATION - BLDG. NO 10 (2 & b) SCALE 1/8"=1'-0"



WEST ELEVATION - BLDG. NO 11



WEST ELEVATION - BLDG. NO 13 SCALE 1/8"=1'-0"

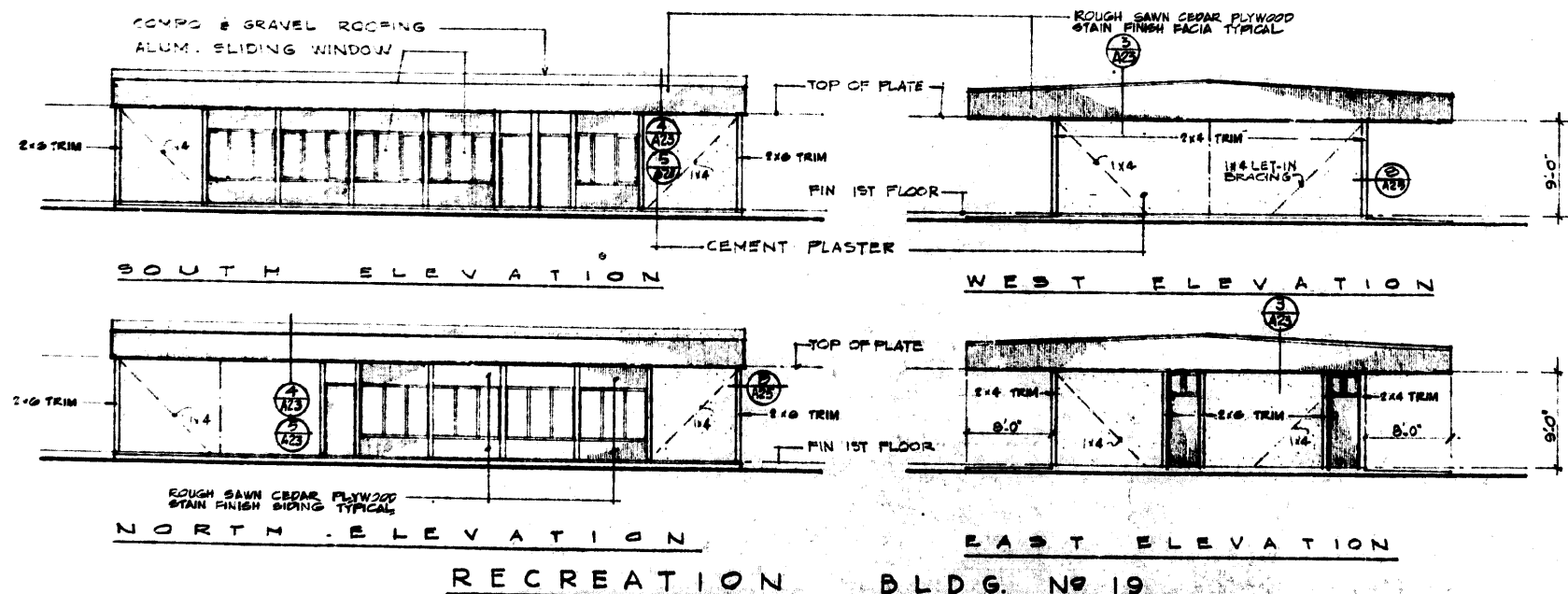


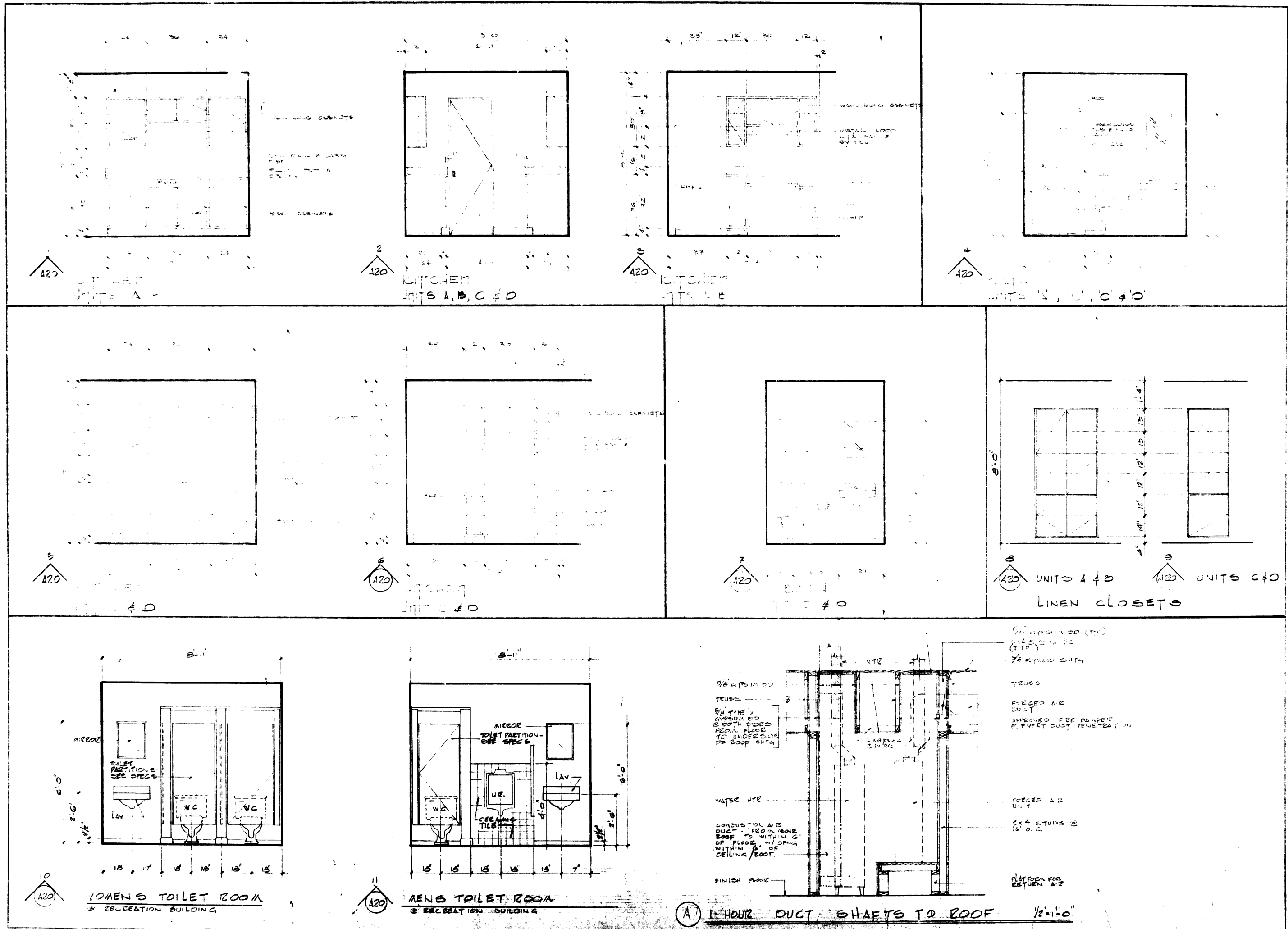
EAST ELEVATION - BLDG. NO 13 SCALE 1/8"=1'-0"

NOTE:

- SOUTH ELEV. OF BLDG. NO 13 IS SAME AS SOUTH ELEV. OF BLDG. NO 2 (OPPOSITE HAND)
- NORTH ELEV. OF BLDG. NO 13 SAME AS WEST ELEV. OF BLDG. NO 3 (OPPOSITE HAND)

2.





EDWARD C. BAKER
Architect

P.O. BOX 100
ORANGE, CALIFORNIA 92667

Edward C. Baker
TEXTILE
INCORPORATED

SCALE 1/8" = 1'-0"

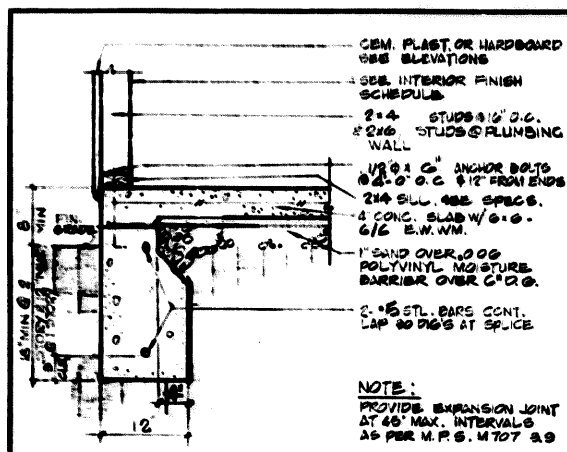
LOS OSOS ROAD
APARTMENTS

SAN LUIS
OBISPO

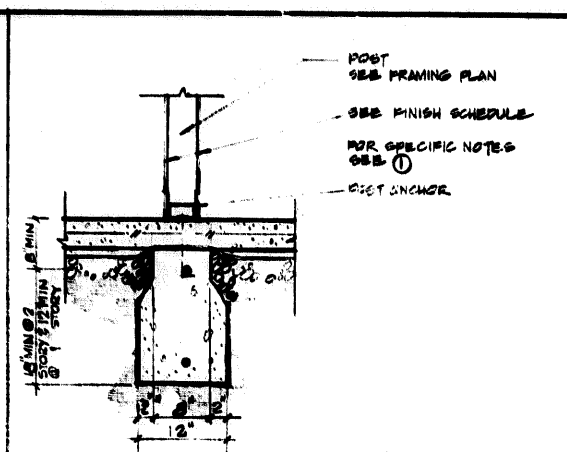
5-8-70

APPROVED
SHEET

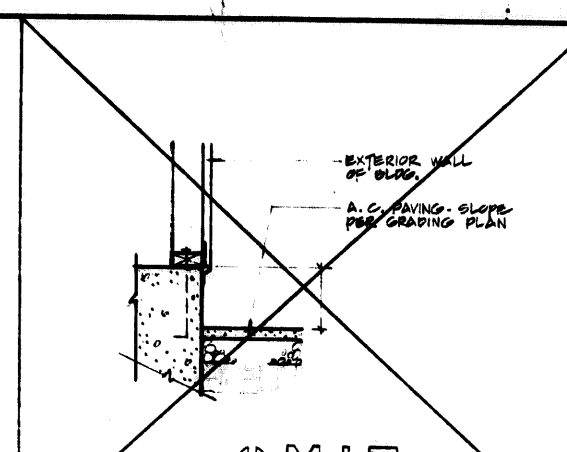
A-20



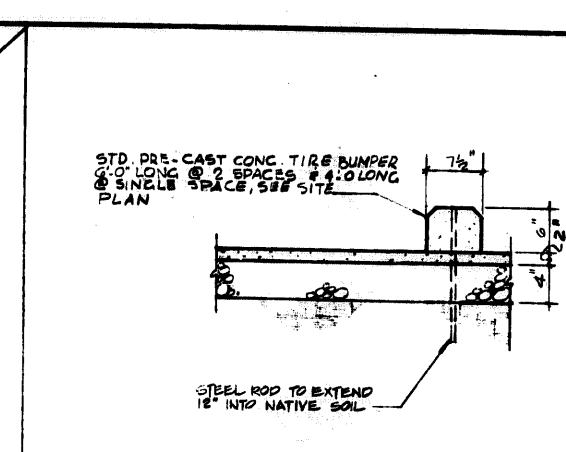
① EXTERIOR BEARING SC. 1'-10"



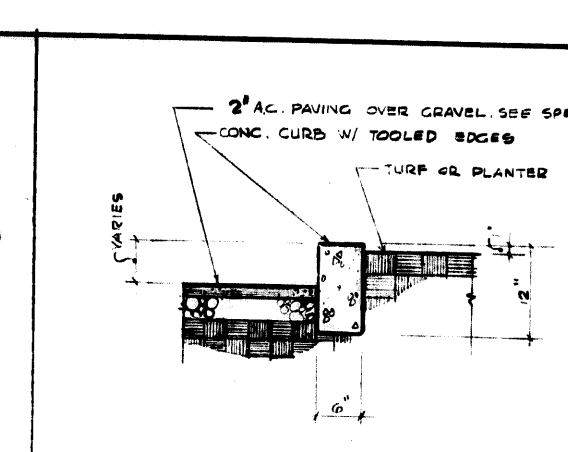
⑤ POST AT INTERIOR SC. 1'-10"



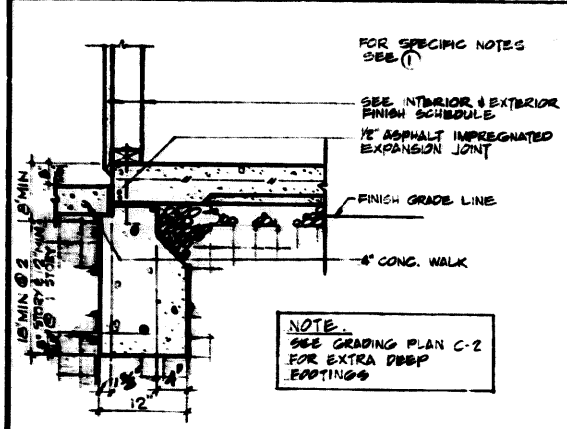
⑧ A.C. PAVING AT BLDG. SC. 1'-10"



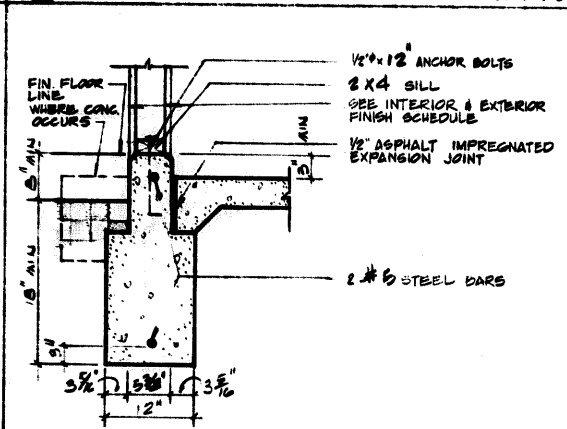
⑬ TIRE BUMPER SC. 1'-10"



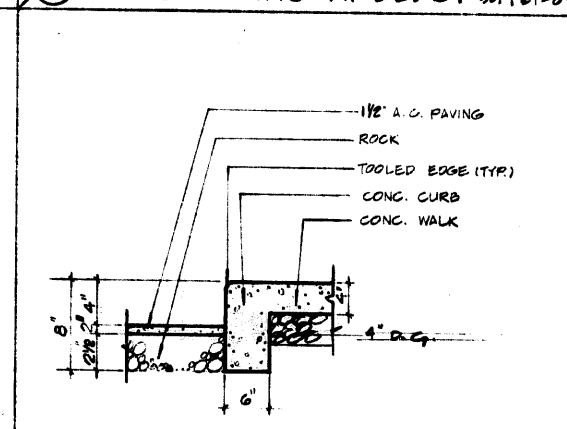
⑰ PLANTER CURB DETAIL SC. 1'-10"



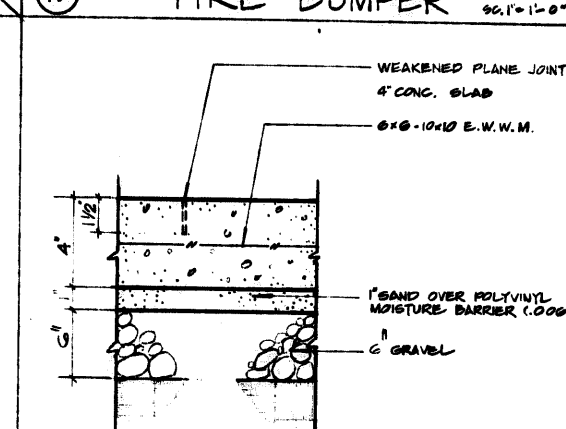
② EXTERIOR AT WALK SC. 1'-10"



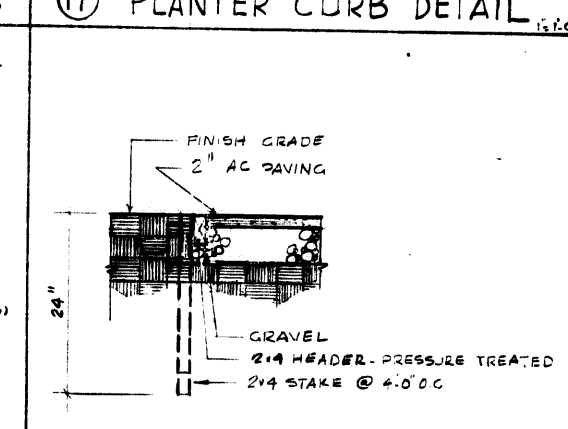
⑥ WING WALL FOOTING SC. 1'-10"



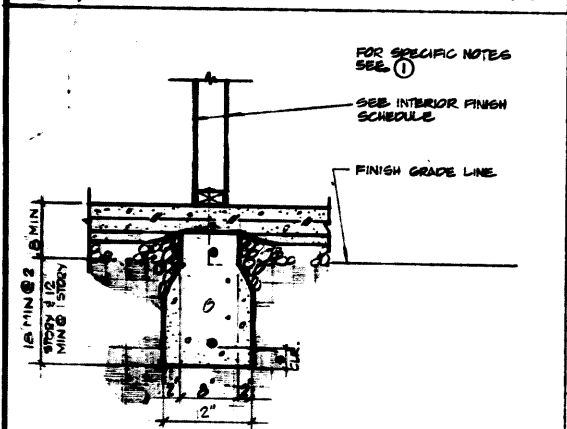
⑩ CURB DETAIL SC. 1'-10"



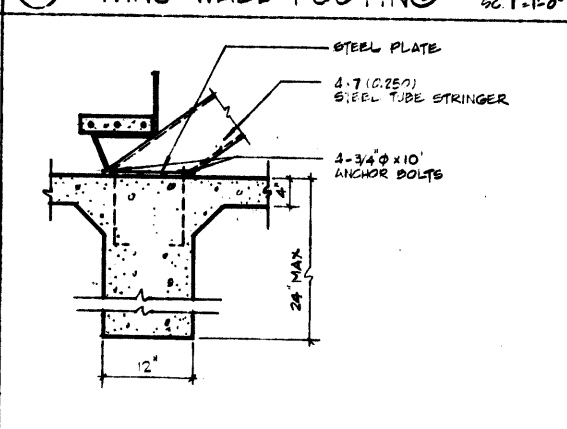
⑭ WEAKENED PLANE JOINT SC. 1'-10"



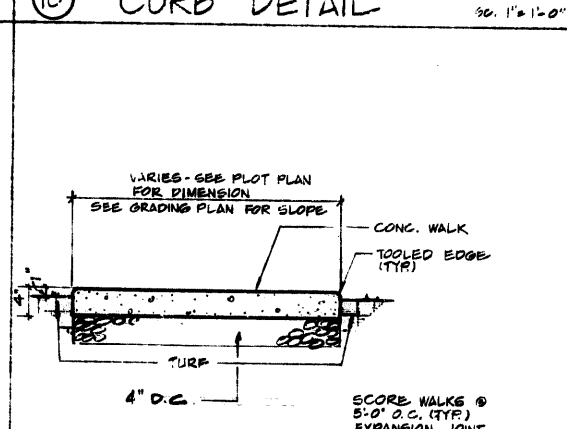
⑱ HEADER DETAIL SC. 1'-10"



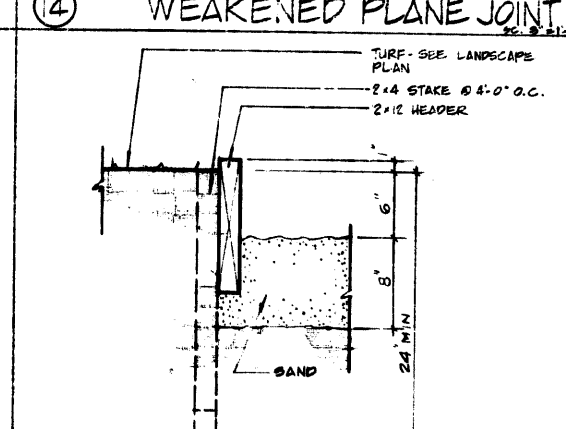
③ INTERIOR BEARING SC. 1'-10"



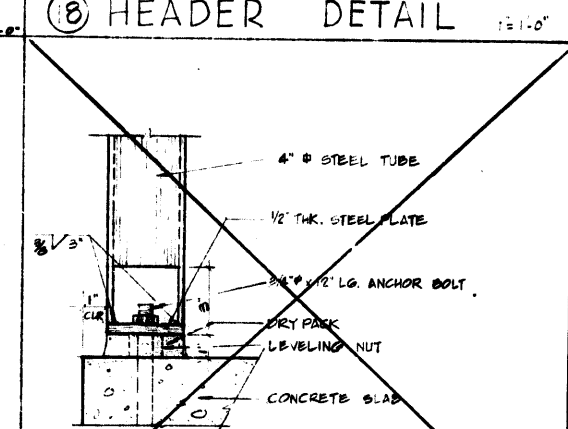
⑦ STAIR FOOTING SC. 1'-10"



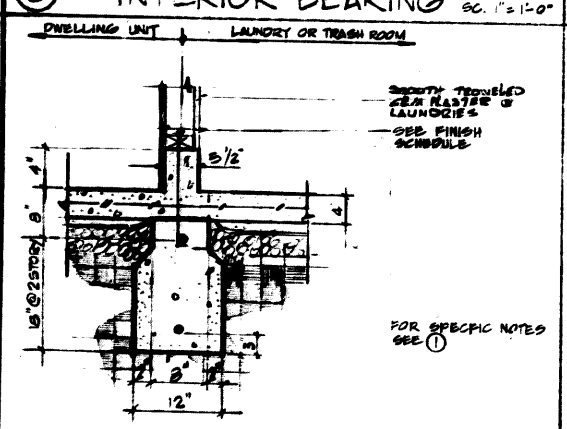
⑪ CONCRETE WALK SC. 1'-10"



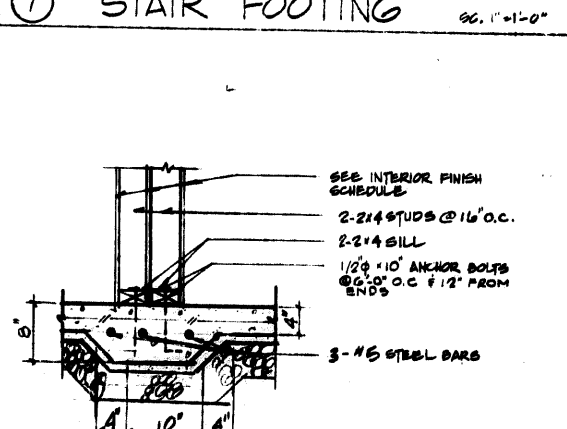
⑮ TURF AT PLAY YARD SC. 1/2'-10"



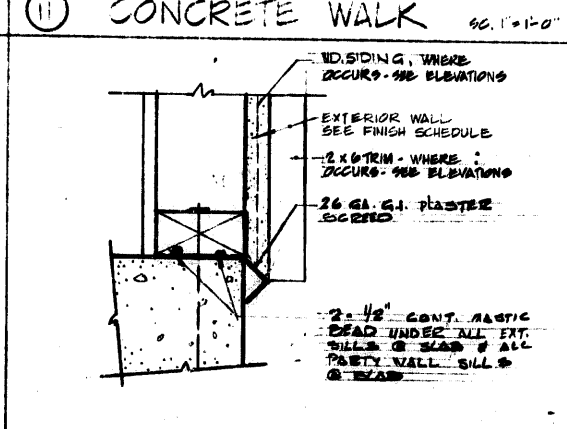
⑲ STEEL TUBE POST BASE DETAIL SC. 3'-10"



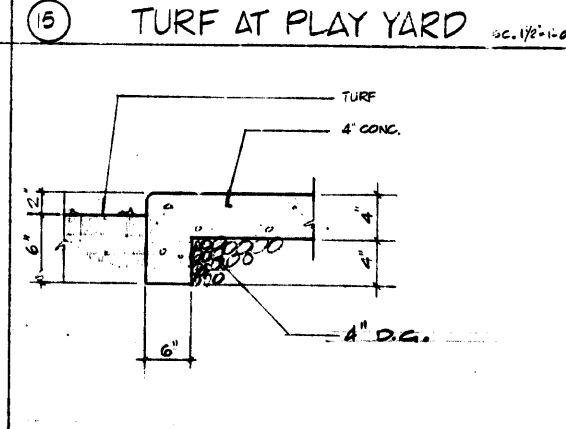
④ SLAB TRANSITION SC. 1'-10"



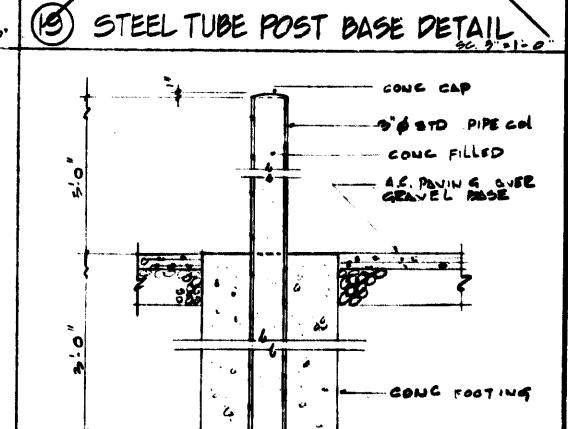
⑧ SHOVEL FOOTING SC. 1'-10"



⑫ WATER TABLE SC. 1'-10"



⑯ CURB / SLAB OR WALK SC. 1/2'-10"



⑳ PIPE DUAPER SC. 1/2'-10"

EDWARD C. BARKER
Architect A.I.A.
P.O. BOX 1287
ORANGE, CALIFORNIA 92668
Edward C. Barker
0221
TEXTEL
INCORPORATED
AREA 716 561-6177

SHEET TITLE
FOUNDATION
DETAIL & SITE
DETAILS

PROJECT
LOS OSOS ROLD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT

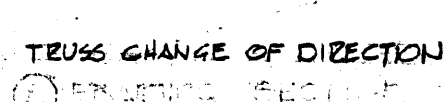
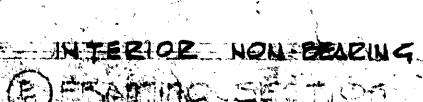
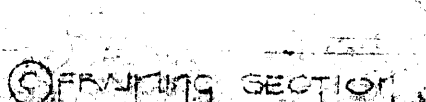
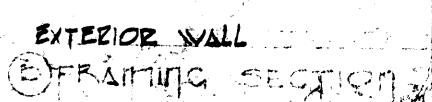
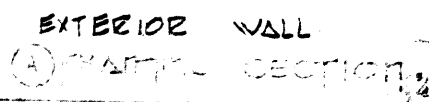
REVISIONS

JOB NO. 152 5-8-70
DESIGNED ECB
DRAWN HFA
CHECKED
APPROVED
SHEET
A-21
OF 23



AREA 714

SAN LUIS
OBISPO, CALIF.



EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1287
ORANGE, CALIFORNIA 92668

Edward C. Barker
63211

TEXTEL
INCORPORATED
AREA 714 941-6177

SHEET TITLE
FRAMING DETAILS

PROJECT
**LOS OSOS ROAD
APARTMENTS**

LOCATION
**SAN LUIS OBISPO
CALIFORNIA**

CONSULTANT

REVISIONS

JOB NO. 192 S.S. 70

DESIGNED E.C.B.

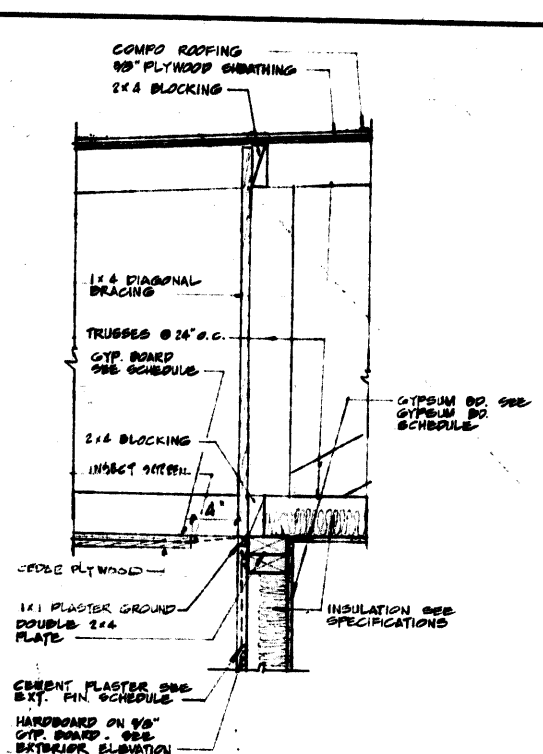
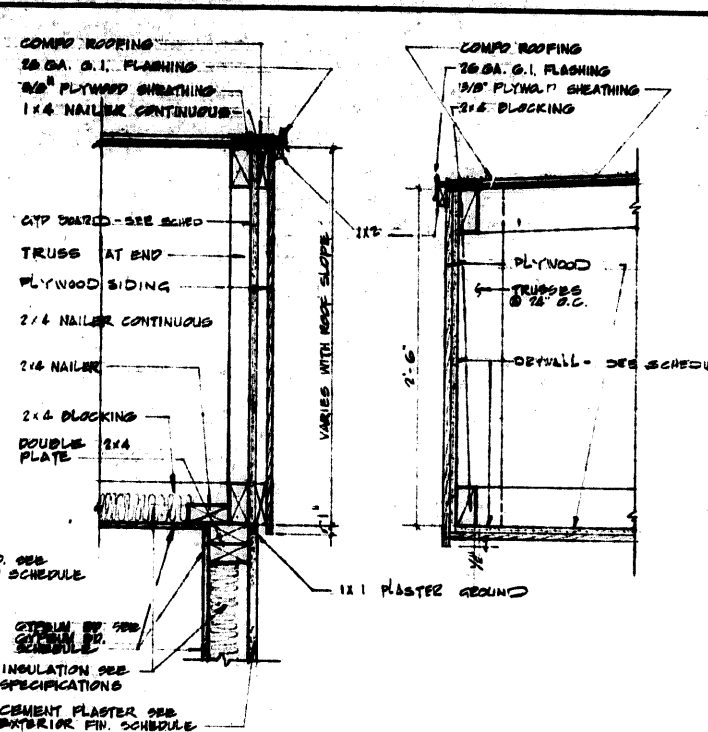
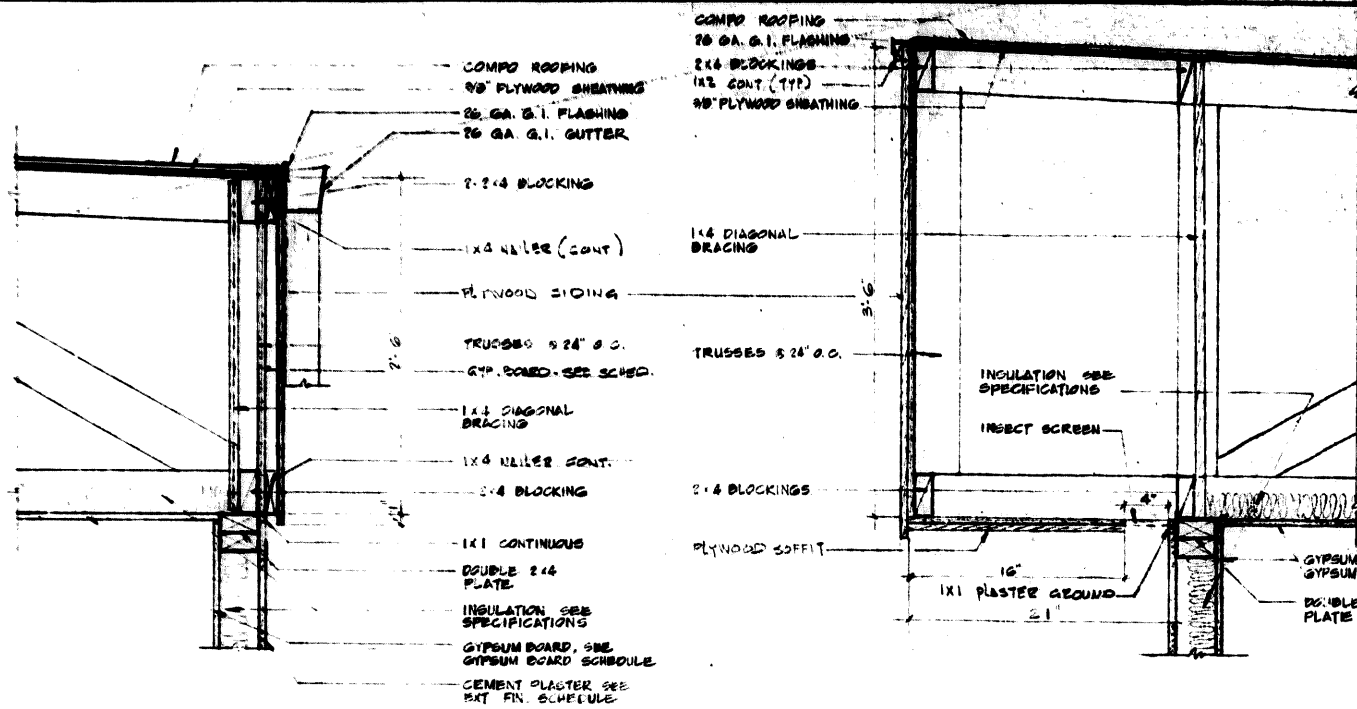
DRAWN T.C.

CHECKED

APPROVED

SHEET

A-23



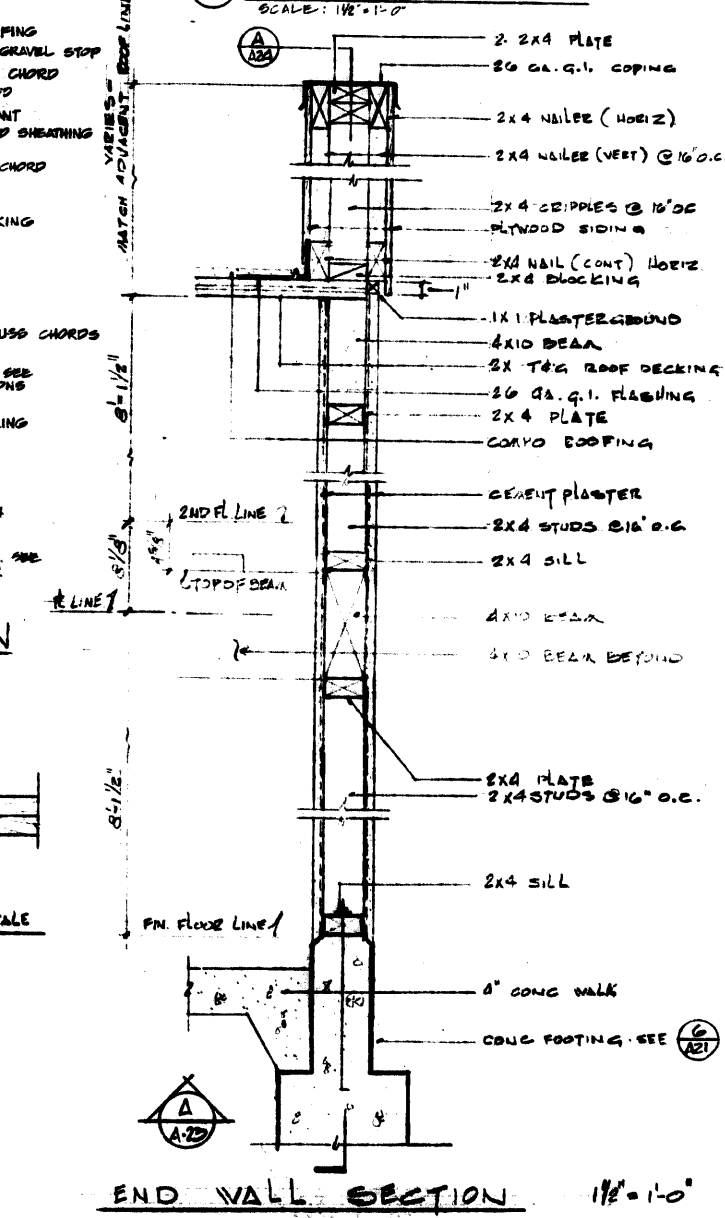
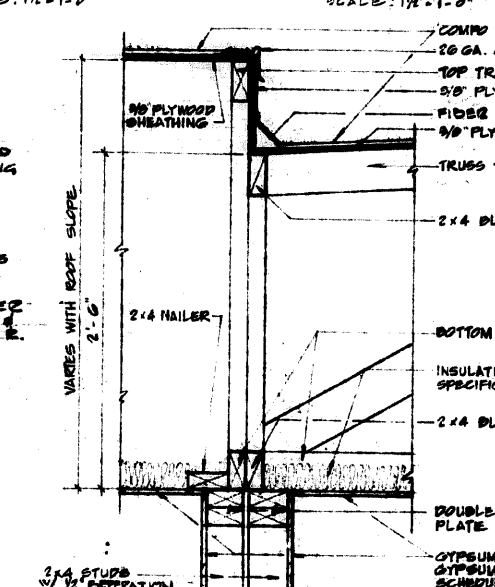
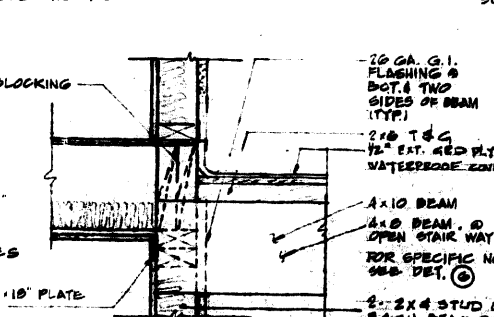
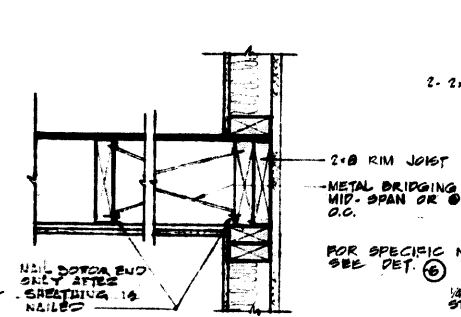
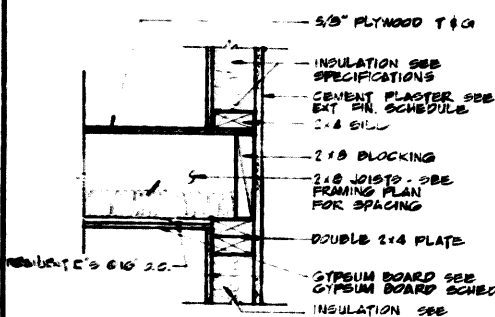
1 REAR EAVE DETAIL
SCALE: 1/8" = 1'-0"

2 FRONT EAVE DETAIL
SCALE: 1/8" = 1'-0"

3 RAKE DETAIL
SCALE: 1/8" = 1'-0"

4 EAVE DETAIL
SCALE: 1/8" = 1'-0"

5 EAVE DETAIL
SCALE: 1/8" = 1'-0"

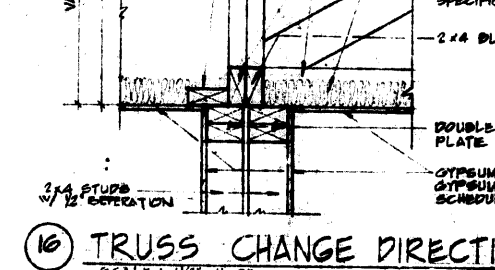
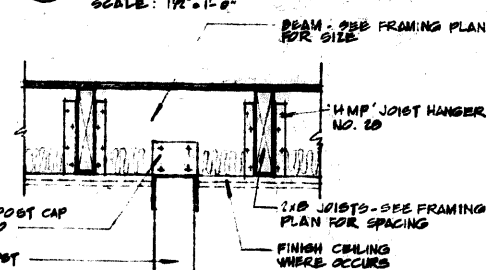
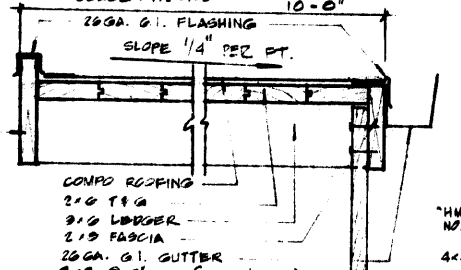
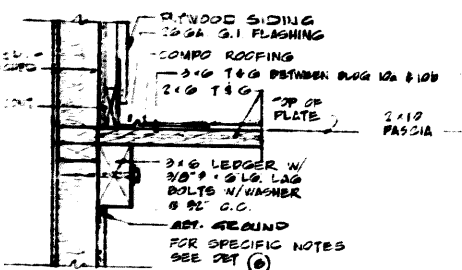


6 FLOOR AT EXTERIOR WALL
SCALE: 1/8" = 1'-0"

7 FLOOR AT EXTERIOR WALL
SCALE: 1/8" = 1'-0"

8 BALCONY DETAIL
SCALE: 1/8" = 1'-0"

16 TRUSS CHANGE DIRECTION
SCALE: 1/8" = 1'-0"

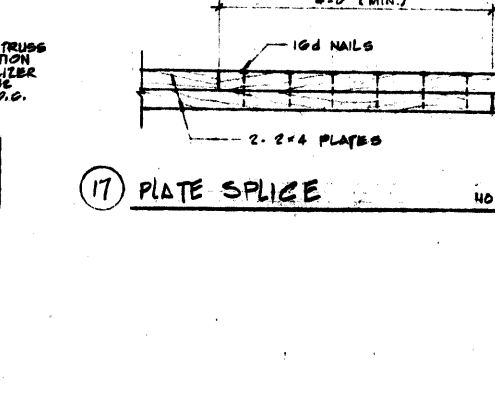
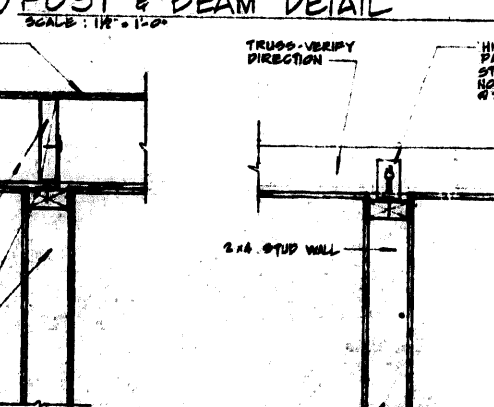
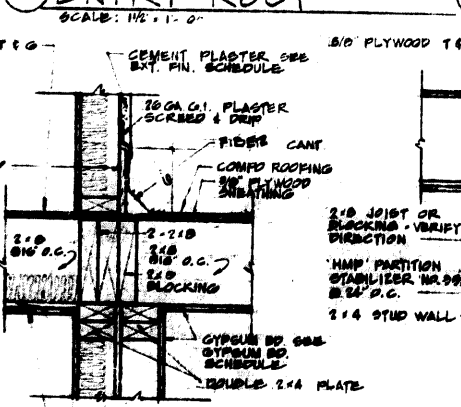
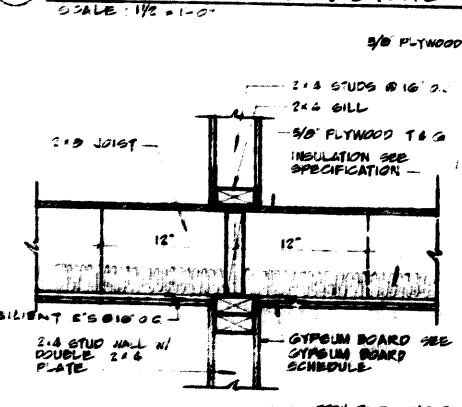


9 ENTRY ROOF DETAIL
SCALE: 1/8" = 1'-0"

10 ENTRY ROOF
SCALE: 1/8" = 1'-0"

11 POST & BEAM DETAIL
SCALE: 1/8" = 1'-0"

17 PLATE SPLICE
NO SCALE

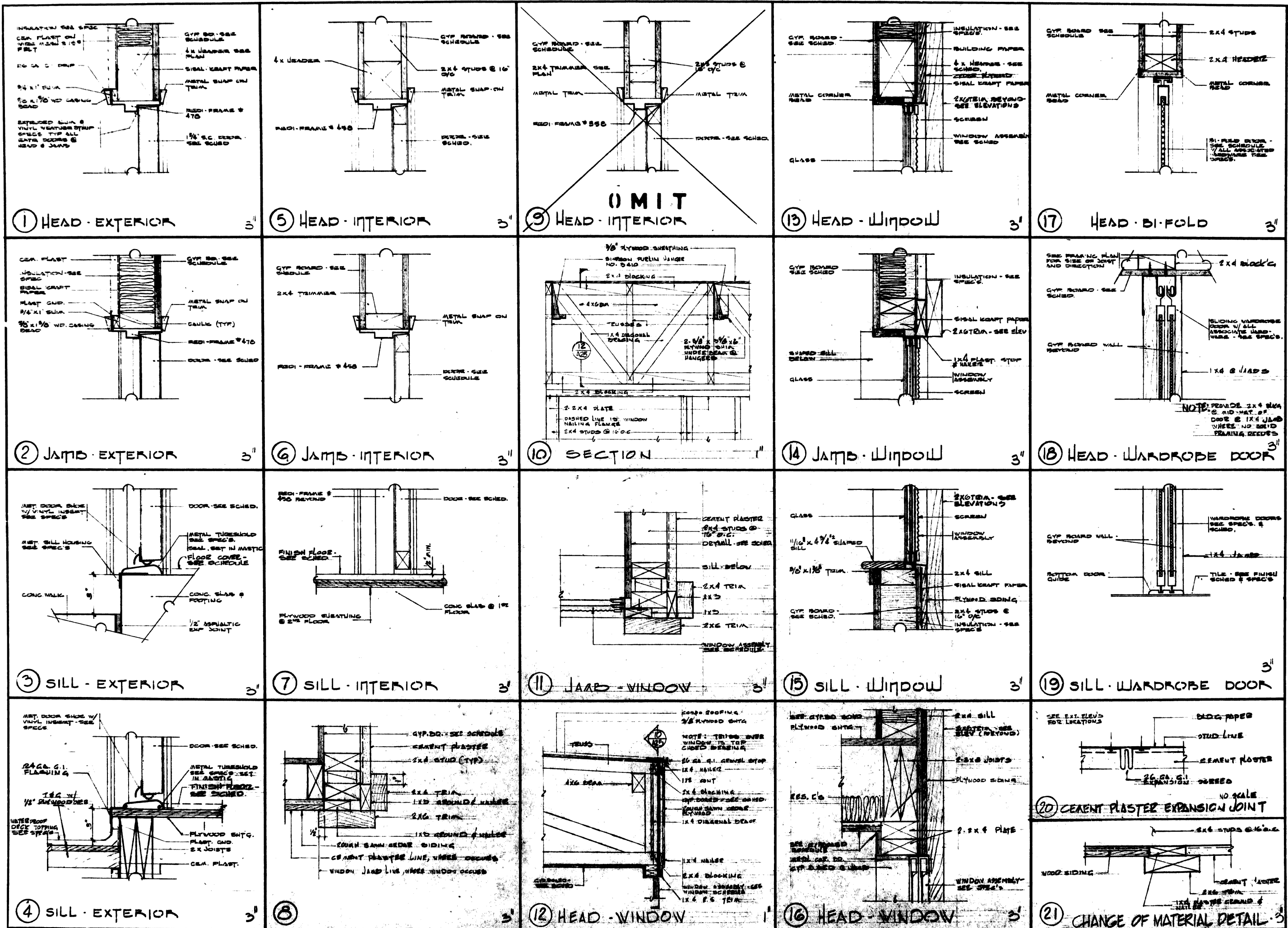


12 FLOOR AT BEARING WALL
SCALE: 1/8" = 1'-0"

13 FLASHING DETAIL
SCALE: 1/8" = 1'-0"

14 WALL TO CEILING
SCALE: 1/8" = 1'-0"

15 WALL TO CEILING
SCALE: 1/8" = 1'-0"



EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1087
ORANGE, CALIFORNIA 92668

Edward C. Barker
1971
TEXTEL
INCORPORATED
AREA 714 841-6177

SHEET TITLE
DOOR & WINDOW DETAILS

PROJECT
LOS OSOS ROAD APARTMENTS

LOCATION
SAN LUIS OBISPO

CONSULTANT

REVISIONS

JOB NO. 102
DESIGNED 5-8-70
DRAWN JD
CHECKED
APPROVED
SHEET

A-25

LUMBER SHALL BE OF SPECIE AND MINIMUM GRADE AS FOLLOWS:

Top Chord - 1500 f Industrial Hemlock W. C.
Bottom Chord - 1200 f Industrial Hemlock W. C.
Web Members - Construction Grade Hemlock W. C.

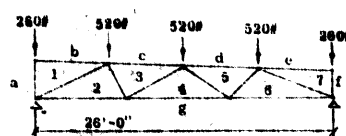
Note: Douglas Fir of comparable grade may be substituted where Hemlock specie is specified.

Note: All erection bracing, blocking, and any bracing required to resist lateral forces to be provided by others.

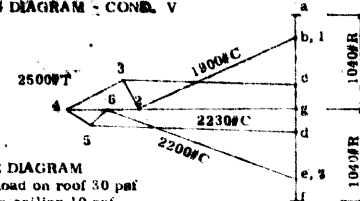
Note: 1x4 Continuous Lateral Bracing as shown.

COND. I - (A Unit) 26'-5"
COND. II - (A Unit) 27'-4"
COND. III - (C Unit) 27'-6"
COND. V - (D Unit) 28'-0"

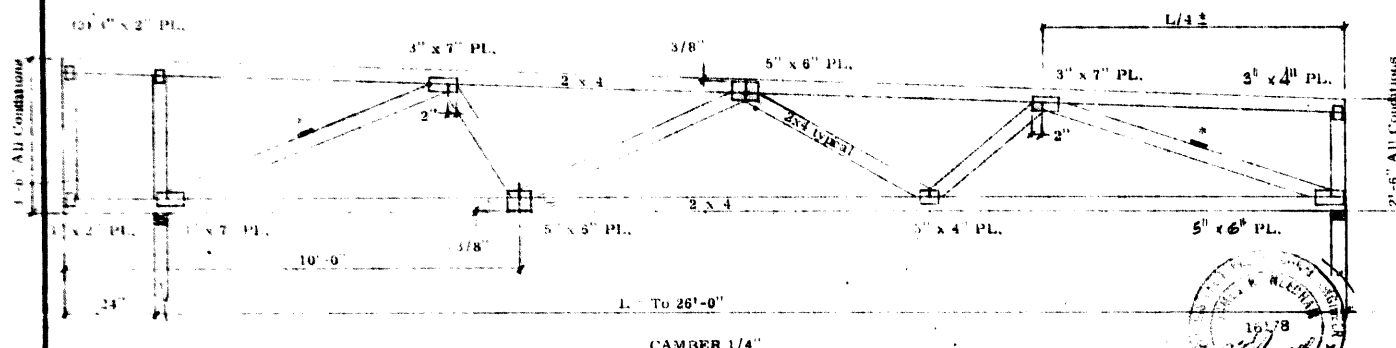
TRUSS - SPACED 2'-0" o.c.
TRUSS - SPACED 2'-0" o.c.
TRUSS - SPACED 2'-0" o.c.



LOADING DIAGRAM - COND. V



FORCE DIAGRAM
Live and dead load on roof 30 psf
Dead load on ceiling 10 psf



File Reference: FT - 26 - X - 40

Cond. I, II, III, V

Date: 3/12/70

File No:

Design By: GCS

Checked By:

HARDWARE: Truss Tie Duo-Plates are of 20 gauge galvanized steel with 4 teeth per square inch of surface area. Plates shall be located on both faces of truss and shall be placed so that centerlines coincide with joint centerlines unless otherwise noted.

TRUS WAL SYSTEMS
ANAHEIM - DETROIT

EDWARD C BARKER
Architect AIA

P.O. BOX 1267
ORANGE, CALIFORNIA 92668

TEXTEL
INCORPORATED
AREA 714 841-6177

SHEET TITLE
TRUSS SECTION

PROJECT
LOS OSOS 2030
APARTMENTS

LOCATION
SAN LUIS
OBISPO

CONSULTANT

REVISIONS
5-4-70 F.H. GCS

JOB NO.
152 5-8-70

DESIGNED
B.C.S.

DRAWN
G.C.S.

CHECKED

APPROVED

SHEET

A-26

LUMBER SHALL BE OF SPECIE AND MINIMUM GRADE AS FOLLOWS:

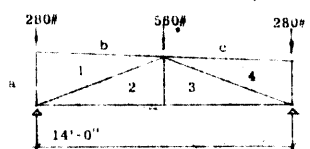
Top Chord - 1200 f Industrial Hemlock W. C.
Bottom Chord - 1200 f Industrial Hemlock W. C.
Web Members - Construction Grade Hemlock W. C.

Note: Douglas Fir of comparable grade may be substituted where Hemlock specie is specified.

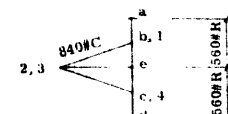
Note: All erection bracing, blocking, and any bracing required to resist lateral forces to be provided by others.

Note: 1x4 Continuous Lateral Bracing as shown.

COND. IV - (C Unit) 14'-5-3/8" TRUSS - SPACED 2'-0" o.c.
COND. VI - (D Unit) 16'-7-5/8" TRUSS - SPACED 2'-0" o.c.

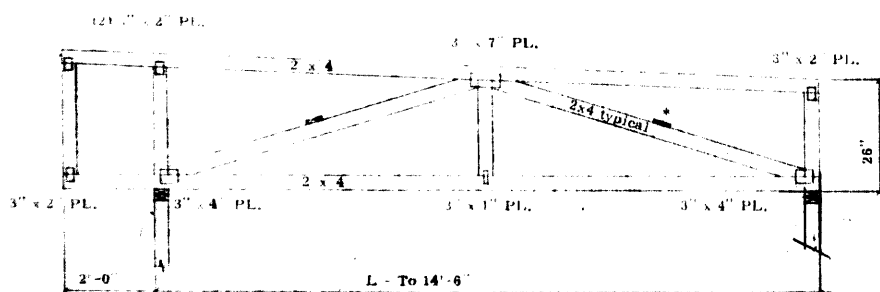


LOADING DIAGRAM



FORCE DIAGRAM

Live and dead load on roof 30 psf
Dead load on ceiling 10 psf



File Reference: FT - 14 - X - 40 Cond. IV, VI

Date: 3/12/70

File No:

Design By: GCS

Checked By:

HARDWARE: Truss Tie Duo-Plates are of 20 gauge galvanized steel with 4 teeth per square inch of surface area. Plates shall be located on both faces of truss and shall be placed so that centerlines coincide with joint centerlines unless otherwise noted.

TRUS WAL SYSTEMS
ANAHEIM - DETROIT

LUMBER SHALL BE OF SPECIE AND MINIMUM GRADE AS FOLLOWS:

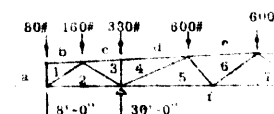
Top Chord - 1800 f Industrial Hemlock W. C.
Bottom Chord - 1200 f Industrial Hemlock W. C.
Web Members - Construction Grade Hemlock W. C.

Note: Douglas Fir of comparable grade may be substituted where Hemlock specie is specified.

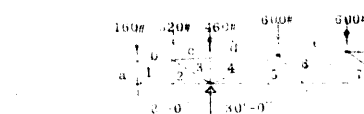
Note: All erection bracing, blocking, and any bracing required to resist lateral forces to be provided by others.

Note: 1x4 Continuous Lateral Bracing as shown.

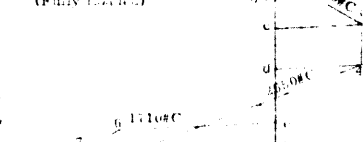
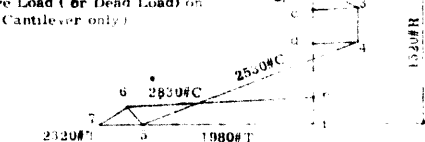
COND. VII - RECREATION BUILDING
46'-0" TRUSS - SPACED 2'-0" o.c.
8'-0" CANTILEVER EACH END



LOADING DIAGRAM
(Live Load (or Dead Load) on
Cantilever only)

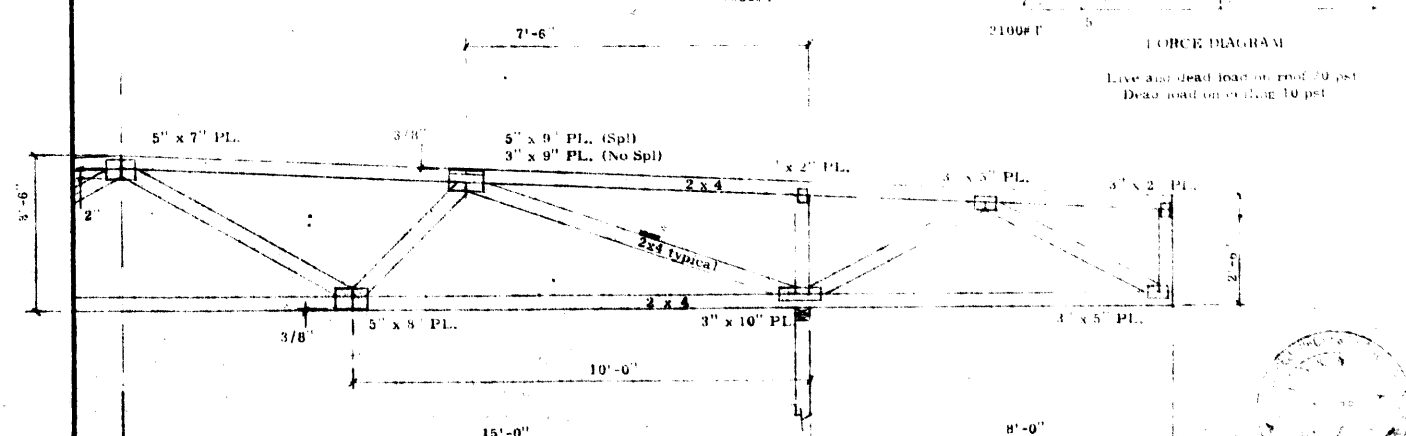


LOADING DIAGRAM
(Fully Loaded)



FORCE DIAGRAM

Live and dead load on roof 30 psf
Dead load on ceiling 10 psf



File Reference: CFT-8/30/8-X-40

Cond. VII

Date: 3/16/70 Rev. 5/6/70

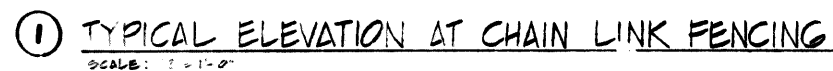
File No:

Design By: GCS

Checked By:

HARDWARE: Truss Tie Duo-Plates are of 20 gauge galvanized steel with 4 teeth per square inch of surface area. Plates shall be located on both faces of truss and shall be placed so that centerlines coincide with joint centerlines unless otherwise noted.

TRUS WAL SYSTEMS
ANAHEIM - DETROIT



FOOTINGS FOR EQUIPMENT SHALL BE
PER MANUFACTURERS SPECIFICATIONS



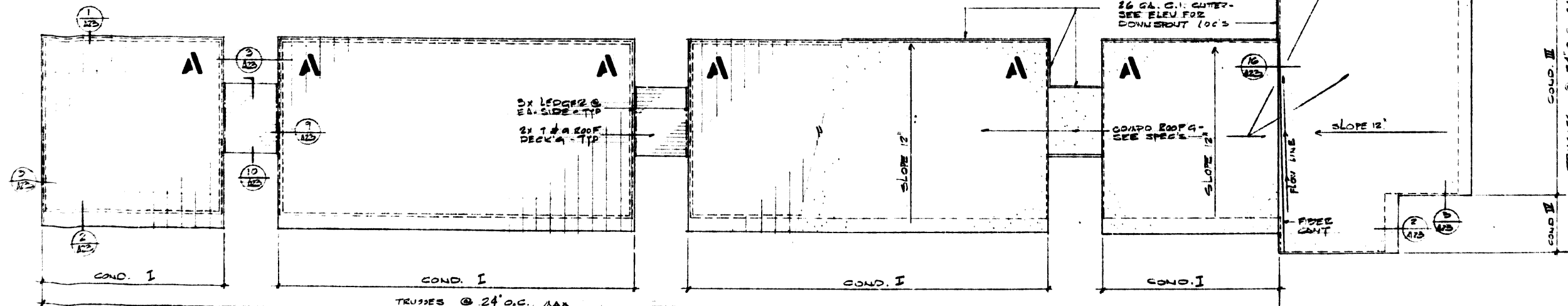
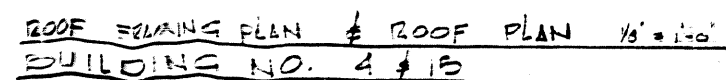
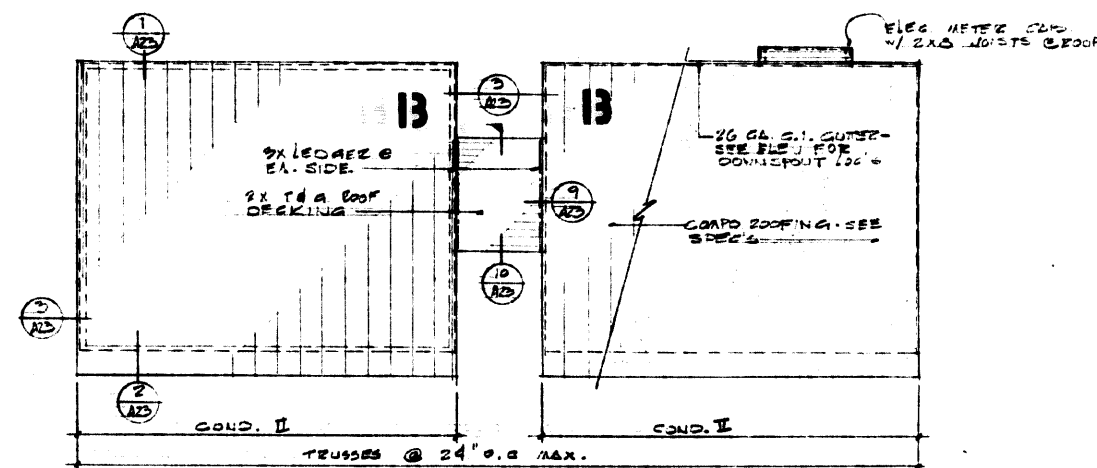
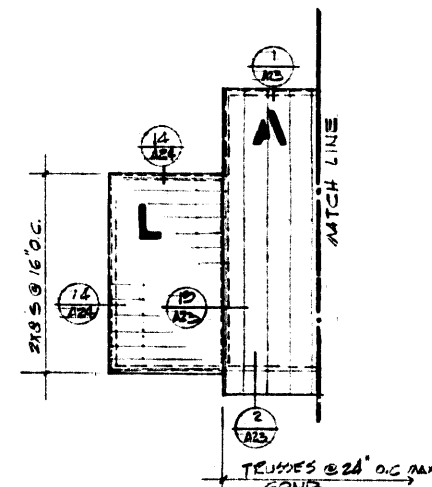
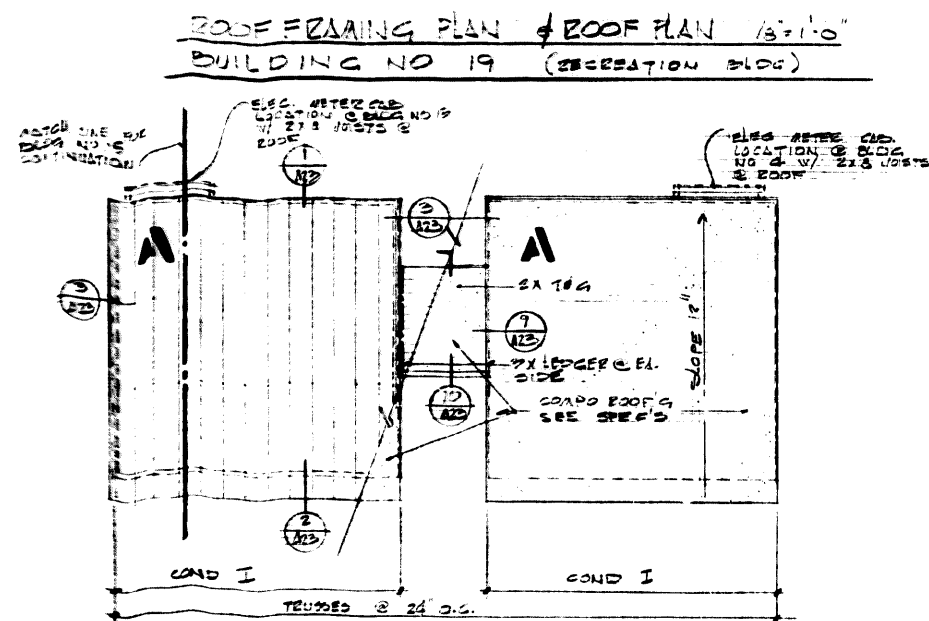
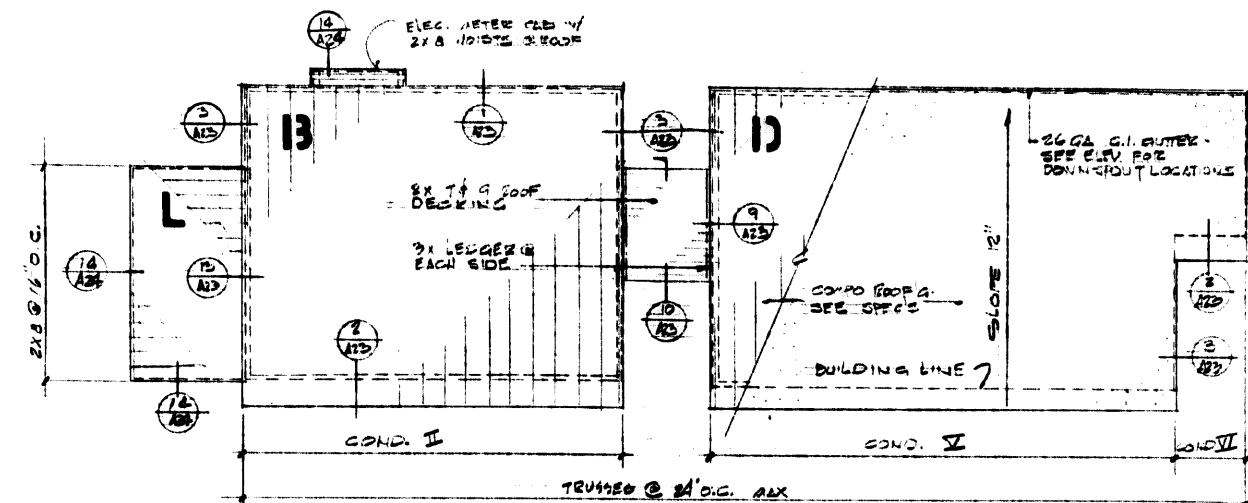
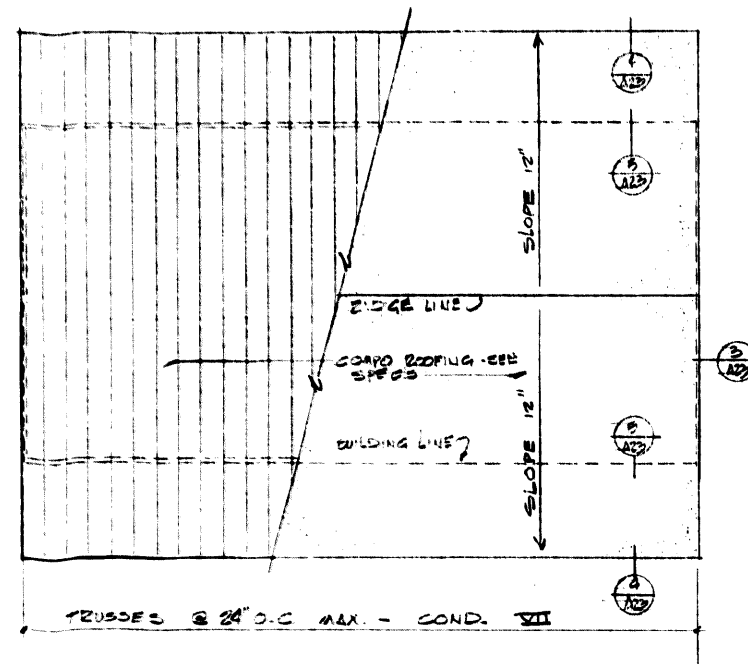
NOTE:

1. ALL AREAS NOT SPECIFICALLY SHOWN ON FINISH SCHEDULE (WARDROBES, STORAGE, WATER HEATER COMPARTMENTS, ETC.) WILL HAVE SAME DRYWALL THICKNESS AND WALL AND CEILING FINISH AS ADJACENT ROOMS
2. BEST ROOMS & REC. BLDG TO HAVE W/P DRYWALL FROM FLOOR TO 4'-0" ABOVE FLOOR @ ALL WALLS
3. 1/2" TYPE X SHEATHING
4. LAUNDRY ROOMS TO HAVE 4'-0" HIGH, SMOOTH TROWELLED GEMENT PLASTER WITH SCOTING.

Finish		Schedule				
Room Description	Base	Floor	Ceiling	Walls	Remarks	
<u>FOLOWING NOTE REC. BLDG ONLY</u> <u>ALL DRAPES, CURTAINS</u> <u>AND/OR OTHER DECORATIVE MAT</u> <u>SHALL BE NON-FLAMMABLE OR SO</u> <u>TREATED & CERTIFIED:</u> <u>INTERIOR FINISH SHALL BE</u> <u>A-1, FLAME SPREAD CLASS III,</u> <u>TUNNEL TEST 76-225</u>	3" x 6 COMB WOOD 2 1/2" TOP SET RUBBER	CARPET ASPHALT TILE CONCRETE VINYL ADHESIOS TILE VINYL GTF. BD ENAMEL GTF. BD ACOUSTIC TEXTURE LATEX ON GTF. BD	ENAMEL ON GTF. BD LATEX ON GTF. BD	ENAMEL ON GTF. BD LATEX ON GTF. BD	ENTIRE FLOOR AREA TO HAVE 3/8" T & G PLYWOOD SUB FLOOR W/ 1/4" MASONITE UNDER PIN FLOOR OF KITCHENS & BATH ROOMS & STORAGE ONLY	
LIVING ROOM	•	•	•	•		
DINING ROOM	•	•	•	•		
KITCHEN	•	•	•	•		
BED ROOM	•	•	•	•		
BATH	•	•	•	•	FLOOR TILE TO BE LAYED OVER 1/2" FELT	
STORAGE	•	•	•	•		
HALL	•	•	•	•		
LAUNDRY	•	•	•	•	CEMENT HAS VAINS.	
RECREATION ROOM	•	•	•	•		
OFFICE	•	•	•	•		
WORK ROOM	•	•	•	•		
MECHANICAL ROOM	•	•	•	•		
HALL	•	•	•	•		
VESTIBULE	•	•	•	•		
MENS ROOM	•	•	•	•	CER. TILE VAINS @ VERTICAL	
WOMENS ROOM	•	•	•	•		

CONSULTANT

A-27



EDWARD C. BARKER
Architect A.I.A.

P. O. BOX 1267
ORANGE CALIFORNIA 92665

Edward C. Barker
0724

TEXTEL
INCORPORATED

AREA 714 541-8177

SHEET TITLE
ROOF FRAMING
PLANS & ROOF
PLANS, BLOC
NO. 4, 5, 15, 16, 17 & 19

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO

CONSULTANT

REVISIONS

_____ JOB NO. _____

DESIGNED

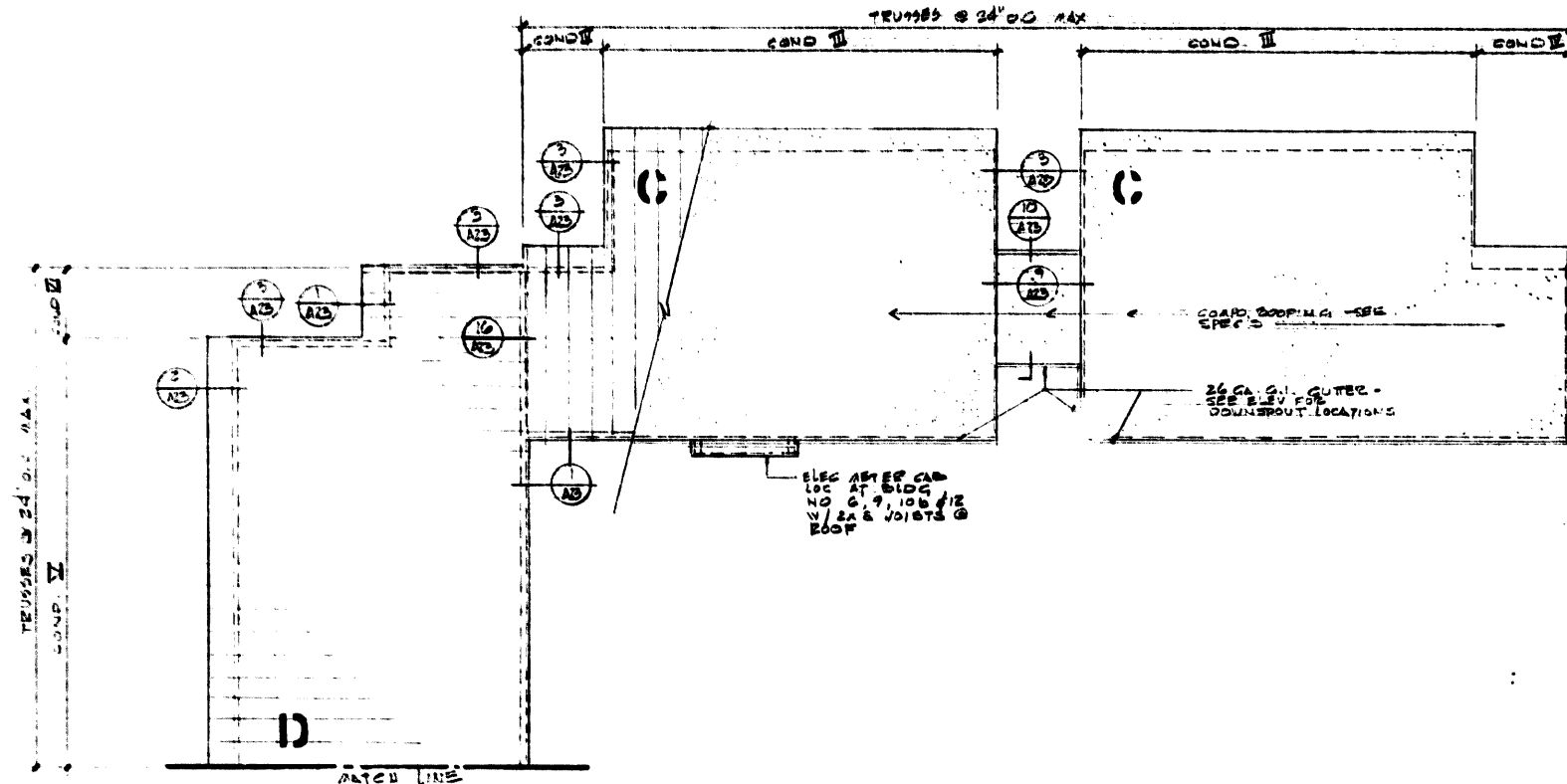
DRAWN

CHECKED

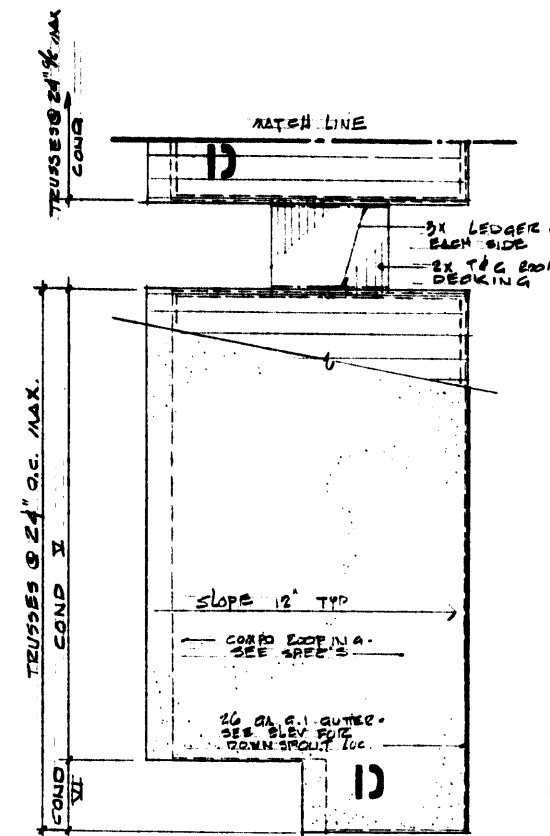
APPROVED

SHEET

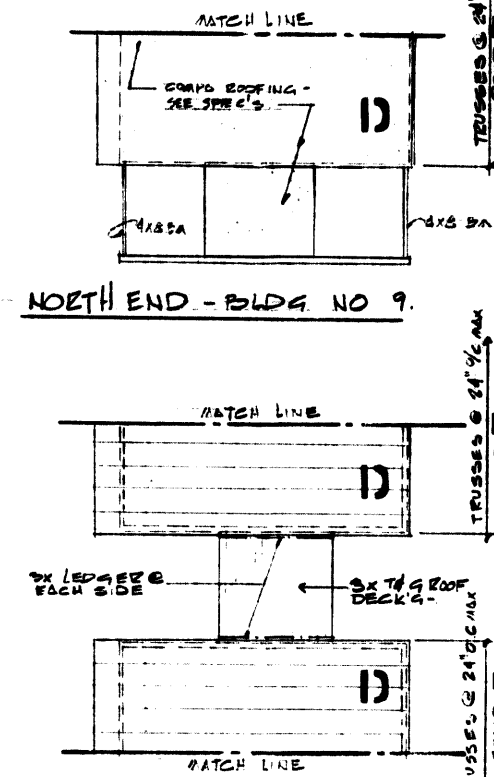
A-29



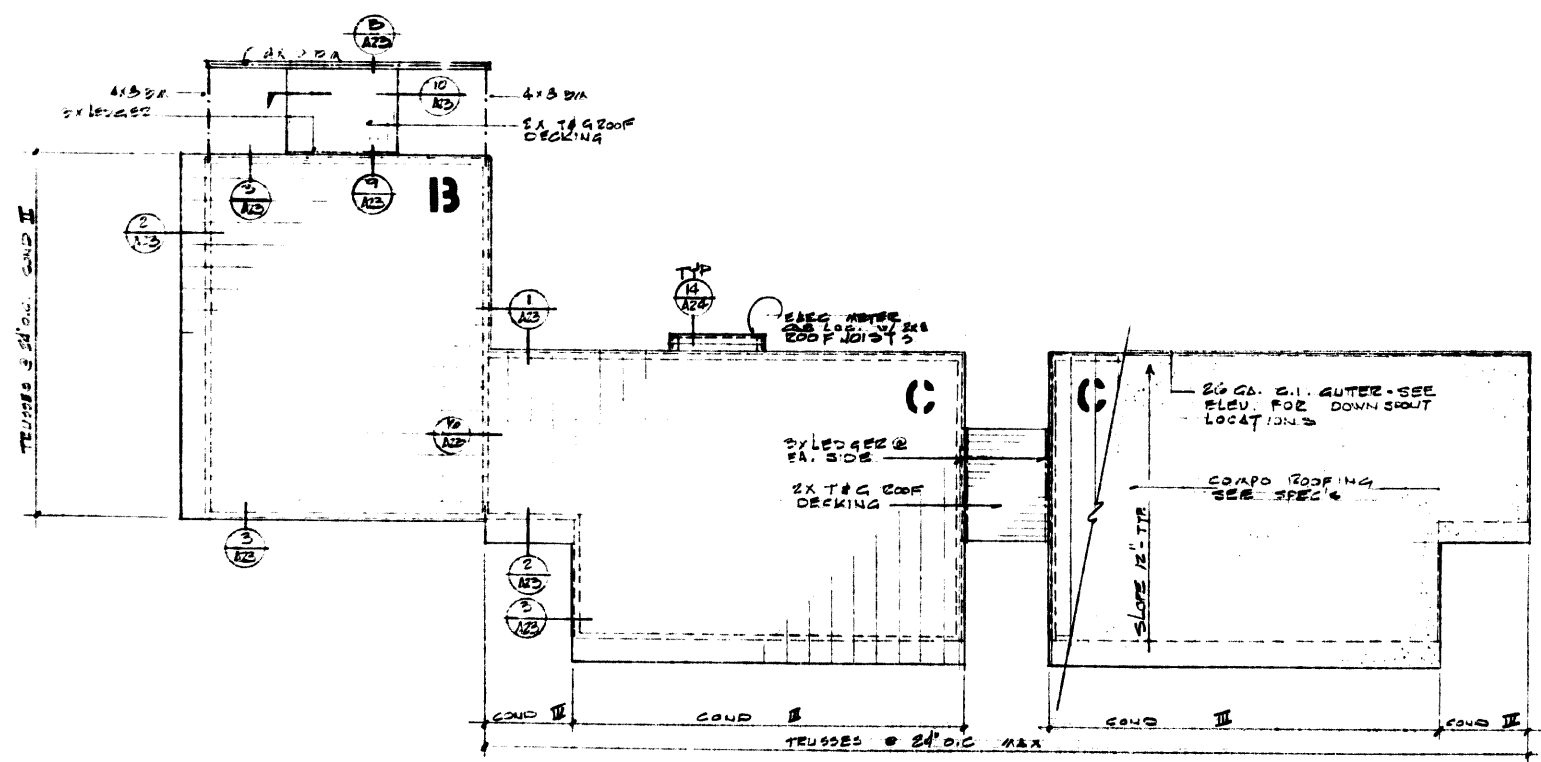
ROOF FRAMING PLAN & ROOF PLAN - 1/8" = 1'-0" - BUILDING NO. 6, 9, 10a, 10b & 12



SOUTH SIDE BLDG. NO. 6 & 12



CENTRAL SECTION BETWEEN BUILDING 10a & 10b



ROOF FRAMING PLAN & ROOF PLAN - 1/8" = 1'-0" - BUILDING NO. 11

EDWARD C. BARKER
Architect A.I.A.

P. O. BOX 1287
ORANGE, CALIFORNIA 92668

Edward C. Barker
02211

TEXTEL
INCORPORATED
AREA 716 561-6177

SHEET TITLE
ROOF FRAMING
& ROOF PLANS
BLDG NO. 6, 9,
10a, 10b, 11 & 12

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO

CONSULTANT

REVISIONS

JOB NO.
192 5-8-72

DESIGNED
E.C.B.

DRAWN
V.B.

CHECKED

APPROVED

SHEET

A-30

GRADING PLAN

CONSTRUCTION NOTES

- EXIST. WATER WELL TO BE HANDLED IN ACCORDANCE WITH THE SOILS REPORT ATTACHED HEREON.
- EXIST. P.P. #9979 TO REMAIN IN PLACE AND TO BE PROTECTED.
- EXIST. P.P. #2 TO REMAIN IN PLACE.
- EXIST. 4" HIGH WIRE FENCE ON PL. TO BE REMOVED WITHIN THE LIMITS OF NEW CONST.

NOTES: SEE CITY OF SAN LUIS OBISPO, CALIF. RECORD MAP NO. 333 IMPROVEMENT PLAN AND CONSTRUCTION DRAWINGS FOR GRADING IMPROVEMENTS AND CONSTRUCTION DETAILS TO THE NORTH, SOUTH AND EAST OF PROPERTY LINES AS SHOWN ON THIS PLAN.

GRADING PLAN

LOS OSOS ROAD APARTMENTS

LOCATION: SAN LUIS OBISPO, CALIF. 95060

CONSULTANT: TRI-STATE ENGINEERING CO.
815 SOUTH RAYMOND AVENUE
FULLERTON, CALIF. 92631
PHONE AREA 714 - 871-9510

C-2

D101299RJL

THE EXISTENCE AND APPROXIMATE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY A SEARCH OF THE AVAILABLE PUBLIC RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UNDERGROUND UTILITIES OR STRUCTURES EXCEPT AS SHOWN ON THIS MAP.

THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

SEE 11-10-12-13-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1226-1227-1228-1229-1230-1231-1232-1233-1234-1235-1236-1237-1238-1239-1240-1241-1242-1243-1244-1245-1246-1247-1248-1249-1250-1251-1252-1253-1254-1255-1256-1257-1258-1259-1260-1261-1262-1263-1264-1265-1266-1267-1268-1269-1270-1271-1272-1273-1274-1275-1276-1277-1278-1279-1280-1281-1282-1283-1284-1285-1286-1287-1288-1289-1290-1291-1292-1293-1294-1295-1296-1297-1298-1299-1300-1301-1302-1303-1304-1305-1306-1307-1308-1309-1310-1311-1312-1313-1314-1315-1316-1317-1318-1319-1320-1321-1322-1323-1324-1325-1326-1327-1328-1329-1330-1331-1332-1333-1334-1335-1336-1337-1338-1339-1340-1341-1342-1343-1344-1345-1346-1347-1348-1349-1350-1351-1352-1353-1354-1355-1356-1357-1358-1359-1360-1361-1362-1363-1364-1365-1366-1367-1368-1369-1370-1371-1372-1373-1374-1375-1376-1377-1378-1379-1380-1381-1382-1383-1384-1385-1386-1387-1388-1389-1390-1391-1392-1393-1394-1395-1396-1397-1398-1399-1400-1401-1402-1403-1404-1405-1406-1407-1408-1409-1410-1411-1412-1413-1414-1415-1416-1417-1418-1419-1420-1421-1422-1423-1424-1425-1426-1427-1428-1429-1430-1431-1432-1433-1434-1435-1436-1437-1438-1439-1440-1441-1442-1443-1444-1445-1446-1447-1448-1449-1450-1451-1452-1453-1454-1455-1456-1457-1458-1459-1460-1461-1462-1463-1464-1465-1466-1467-1468-1469-1470-1471-1472-1473-1474-1475-1476-1477-1478-1479-1480-1481-1482-1483-1484-1485-1486-1487-1488-1489-1490-1491-1492-1493-1494-1495-1496-1497-1498-1499-1500-1501-1502-1503-1504-1505-1506-1507-1508-1509-1510-1511-1512-1513-1514-1515-1516-1517-1518-1519-1520-1521-1522-1523-1524-1525-1526-1527-1528-1529-1530-1531-1532-1533-1534-1535-1536-1537-1538-1539-1540-1541-1542-1543-1544-1545-1546-1547-1548-1549-1550-1551-1552-1553-1554-1555-1556-1557-1558-1559-1560-1561-1562-1563-1564-1565-1566-1567-1568-1569-1570-1571-1572-1573-1574-1575-1576-1577-1578-1579-1580-1581-1582-1583-1584-1585-1586-1587-1588-1589-1590-1591-1592-1593-1594-1595-1596-1597-1598-1599-1600-1601-1602-1603-1604-1605-1606-1607-1608-1609-1610-1611-1612-1613-1614-1615-1616-1617-1618-1619-1620-1621-1622-1623-1624-1625-1626-1627-1628-1629-1630-1631-1632-1633-1634-1635-1636-1637-1638-1639-1640-1641-1642-1643-1644-1645-1646-1647-1648-1649-1650-1651-1652-1653-1654-1655-1656-1657-1658-1659-1660-1661-1662-1663-1664-1665-1666-1667-1668-1669-1670-1671-1672-1673-1674-1675-1676-1677-1678-1679-1680-1681-1682-1683-1684-1685-1686-1687-1688-1689-1690-1691-1692-1693-1694-1695-1696-1697-1698-1699-1700-1701-1702-1703-1704-1705-1706-1707-1708-1709-1710-1711-1712-1713-1714-1715-1716-1717-1718-1719-1720-1721-1722-1723-1724-1725-1726-1727-1728-1729-1730-1731-1732-1733-1734-1735-1736-1737-1738-1739-1740-1741-1742-1743-1744-1745-1746-1747-1748-1749-1750-1751-1752-1753-1754-1755-1756-1757-1758-1759-1760-1761-1762-1763-1764-1765-1766-1767-1768-1769-1770-1771-1772-1773-1774-1775-1776-1777-1778-1779-1780-1781-1782-1783-1784-1785-1786-1787-1788-1789-1790-1791-1792-1793-1794-1795-1796-1797-1798-1799-1800-1801-1802-1803-1804-1805-1806-1807-1808-1809-1810-1811-1812-1813-1814-1815-1816-1817-1818-1819-1820-1821-1822-1823-1824-1825-1826-1827-1828-1829-1830-1831-1832-1833-1834-1835-1836-1837-1838-1839-1840-1841-1842-1843-1844-1845-1846-1847-1848-1849-1850-1851-1852-1853-1854-1855-1856-1857-1858-1859-1860-1861-1862-1863-1864-1865-1866-1867-1868-1869-1870-1871-1872-1873-1874-1875-1876-1877-1878-1879-1880-1881-1882-1883-1884-1885-1886-1887-1888-1889-1890-1891-1892-1893-1894-1895-1896-1897-1898-1899-1900-1901-1902-1903-1904-1905-1906-1907-1908-1909-1910-1911-1912-1913-1914-1915-1916-1917-1918-1919-1920-1921-1922-1923-1924-1925-1926-1927-1928-1929-1930-1931-1932-1933-1934-1935-1936-1937-1938-1939-1940-1941-1942-1943-1944-1945-1946-1947-1948-1949-1950-1951-1952-1953-1954-1955-1956-1957-1958-1959-1960-1961-1962-1963-1964-1965-1966-1967-1968-1969-1970-1971-1972-1973-1974-1975-1976-1977-1978-1979-1980-1981-1982-1983-1984-1985-1986-1987-1988-1989-1990-1991-1992-1993-1994-1995-1996-1997-1998-1999-2000-2001-2002-2003-2004-2005-2006-2007-2008-2009-2010-2011-2012-2013-2014-2015-2016-2017-2018-2019-2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2174-2175-2176-2177-2178-2179-2180-2181-2182-2183-2184-2185-2186-2187-2188-2189-2190-2191-2192-2193-2194-2195-2196-2197-2198-2199-2200-2201-2202-2203-2204-2205-2206-2207-2208-2209-2210-2211-2212-2213-2214-2215-2216-2217-2218-2219-2220-2221-2222-2223-2224-2225-2226-2227-2228-2229-2230-2231-2232-2233-2234-2235-2236-2237-2238-2239-2240-2241-2242-2243-2244-2245-2246-2247-2248-2249-2250-2251-2252-2253-2254-2255-2256-2257-2258-2259-2260-2261-2262-2263-2264-2265-2266-2267-2268-2269-2270-2271-2272-2273-2274-2275-2276-2277-2278-2279-2280-2281-2282-2283-2284-2285-2286-2287-2288-2289-2290-2291-2292-2293-2294-2295-2296-2297-2298-2299-2300-2301-2302-2303-2304-2305-2306-2307-2308-2309-2310-2311-2312-2313-2314-2315-2316-2317-2318-2319-2320-2321-2322-2323-2324-2325-2326-2327-2328-2329-2330-2331-2332-2333-2334-2335-2336-2337-2338-2339-2340-2341-2342-2343-2344-2345-2346-2347-2348-2349-2350-2351-2352-2353-2354-2355-2356-2357-2358-2359-2360-2361-2362-2363-2364-2365-2366-2367-2368-2369-2370-2371-2372-2373-2374-2375-2376-2377-2378-2379-2380-2381-2382-2383-2384-2385-2386-2387-2388-2389-2390-2391-2392-2393-2394-2395-2396-2397-2398-2399-2400-2401-2402-2403-2404-2405-2406-2407-2408-2409-2410-2411-2412-2413-2414-2415-2416-2417-2418-2419-2420-2421-2422-2423-2424-2425-2426-2427-2428-2429-2430-2431-2432-2433-2434-2435-2436-2437-2438-2439-2440-2441-2442-2443-2444-2445-2446-2447-2448-2449-2450-2451-2452-2453-2454-2455-2456-2457-2458-2459-2460-2461-2462-2463-2464-2465-2466-2467-2468-2469-2470-2471-2472-2473-2474-2475-2476-2477-2478-2479-2480-2481-2482-2483-2484-2485-2486-2487-2488-2489-2490-2491-2492-2493-2494-2495-2496-2497-2498-2499-2500-2501-2502-2503-2504-2505-2506-2507-2508-2509-2510-2511-2512-2513-2514-2515-2516-2517-2518-2519-2520-2521-2522-2523-2524-2525-2526-2527-2528-2529-2530-2531-2532-2533-2534-2535-2536-2537-2538-2539-2540-2541-2542-2543-2544-2545-2546-2547-2548-2549-2550-2551-2552-2553-2554-2555-2556-2557-2558-2559-2560-2561-2562-2563-2564-2565-2566-2567-2568-2569-2570-2571-2572-2573-2574-2575-2576-2577-2578-2579-2580-2581-2582-2583-2584-2585-2586-2587-2588-2589-2590-2591-2592-2593-2594-2595-2596-2597-2598-2599-2600-2601-2602-2603-2604-2605-2606-2607-2608-2609-2610-2611-2612-2613-2614-2615-2616-2617-2618-2619-2620-2621-2622-2623-2624-2625-2626-2627-2628-2629-2630-2631-2632-2633-2634-2635-2636-2637-2638-2639-2640-2641-2642-2643-2644-2645-2646-2647-2648-2649-2650-2651-2652-2653-2654-26

ROYAL WAY

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE CITY OF SAN LUIS OBISPO.
2. THE CONSTRUCTION OF HOUSE LATERALS COVERED BY THIS PLAN IS TO A POINT 5 FEET FROM THE BUILDING.
3. SEE MECHANICAL DRAWINGS FOR SIZE AND CONNECTION TO EACH BUILDING.

EDWARD C. BARKER
Architect AIA

P.O. BOX 1287
ORANGE, CALIFORNIA 92668

Edward C. Barker
00211
TEXTTEL
INCORPORATED
AIA # 716 DAY 8-77

SHEET TITLE

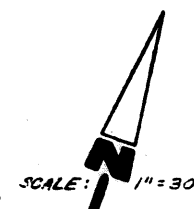
SANITARY SEWER PLAN

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO,
CALIFORNIA

CONSULTANT
TRI-STATE ENGINEERING CO.
615 SOUTH HAWTHORNE AVENUE
FULLERTON, CALIF. 92631
PHONE AREA 714 - 871-4888

NOTE: SEE CITY OF SAN LUIS OBISPO, LYNN SUBDIVISION, TRACT NO. 393 IMPROVEMENT PLANS AND CONSTRUCTION DRAWINGS FOR GRADING IMPROVEMENTS AND CONSTRUCTION DETAILS TO THE NORTH, SOUTH AND EAST OF PROPERTY LINE AS SHOWN ON THIS PLAN.



THE EXISTENCE AND APPROXIMATE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY A SEARCH OF THE AVAILABLE PUBLIC RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UNDERGROUND UTILITIES OR STRUCTURES EXCEPT AS SHOWN ON THIS MAP.

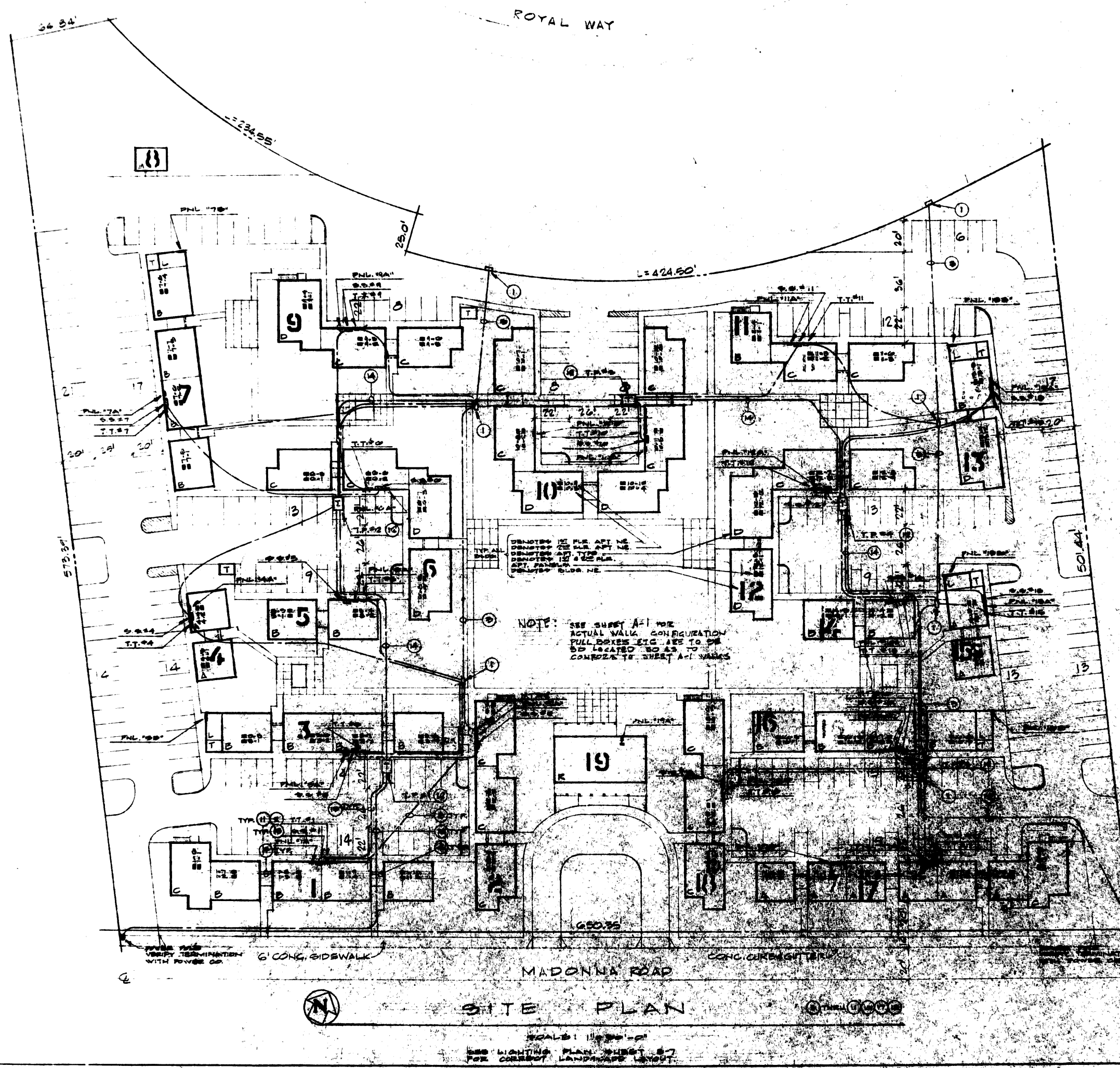
THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

REVISIONS:
1. 11/17/77 - 1ST REVISION - SEE TRACT NO. 393 IMPROVEMENT PLANS AND CONSTRUCTION DRAWINGS FOR GRADING IMPROVEMENTS AND CONSTRUCTION DETAILS TO THE NORTH, SOUTH AND EAST OF PROPERTY LINE AS SHOWN ON THIS PLAN.
2. 11/17/77 - 2ND REVISION - SEE TRACT NO. 393 IMPROVEMENT PLANS AND CONSTRUCTION DRAWINGS FOR GRADING IMPROVEMENTS AND CONSTRUCTION DETAILS TO THE NORTH, SOUTH AND EAST OF PROPERTY LINE AS SHOWN ON THIS PLAN.
3. 11/17/77 - 3RD REVISION - SEE TRACT NO. 393 IMPROVEMENT PLANS AND CONSTRUCTION DRAWINGS FOR GRADING IMPROVEMENTS AND CONSTRUCTION DETAILS TO THE NORTH, SOUTH AND EAST OF PROPERTY LINE AS SHOWN ON THIS PLAN.

JOB NO. 50-1075
DESIGNED BY [Signature]
CHECKED BY [Signature]
DRAWN BY [Signature]
APPROVED BY [Signature]

SHEET
C-3

0101299 R.11.



SITE PLAN NOTES

1. UNDERGROUND TELEPHONE PULLBOX (24" X 42" X 24") FURNISHED BY TELEPHONE COMPANY, INSTALLED BY ELECTRICAL CONTRACTOR. VERIFY LOCATION WITH LANDSCAPE ARCHITECT AND TELEPHONE COMPANY.
2. TYPICAL TELEPHONE TERMINAL (T.T.) BY ELECTRICAL CONTRACTOR. 18" W X 36" H X 3/4" PLYWOOD BACKBOARD WITH 1/2" C.O. TO NEAREST METALLIC C.W. GROUND. PROVIDE 2-1/2" C.O. ABOVE BACKBOARD, UP THRU WALL INTO ACCESSIBLE SECOND FLOOR CEILING SPACE.
3. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL 2" C.O. FOR TELEPHONE MINIMUM 18" BELOW FINISHED GRADE. (TERMINATE RUN TO TERMINAL IN BOTTOM LEFT CORNER OF TELEPHONE TERMINAL.)
4. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL 2-1/2" C.O. UNDERGROUND STRAIGHT SLEEVE BETWEEN BUILDING STRUCTURES. TERMINATE IN ACCESSIBLE WALL SPACE AS REQUIRED BY TELEPHONE COMPANY.
5. ELECTRICAL CONTRACTOR TO NOTIFY TELEPHONE COMPANY IN ADVANCE OF COMPLETION OF FRAMING, SO TELEPHONE COMPANY CAN SCHEDULE TELEPHONE PREWIRE INSTALLATION.
6. ALL TELEPHONE CONDUIT BENDS TO HAVE MIN. RADIUS 12 FEET EQUAL TO DIAMETER OF CONDUIT IN INCHES.
7. NO CONTINUOUS TELEPHONE CONDUIT RUN TO HAVE OVER THE EQUIVALENT OF THREE 90 DEGREE BENDS, WITHOUT INCLUDING AN INTERMEDIATE PULL BOX IN AN ACCESSIBLE LOCATION.
8. BUSH ENDS OF ALL TELEPHONE CONDUITS.
9. PLASTIC CONDUIT SPECIFIED FOR TELEPHONE USE ARE ABS TYPE 2, AND P.C. CONDUIT. THESE TYPES OF CONDUITS MAY BE USED OF LARGER DIAMETER AND VERIFY WITH TELEPHONE COMPANY.
10. TELEPHONE CONDUIT PLACED IN A TRENCH SHALL HAVE 12" OF COVER. IN CASES WHERE POWER AND TELEPHONE CONDUIT ARE IN THE SAME TRENCH, TELEPHONE WILL BE SEPARATED FROM POWER BY 3" OF COFFEE CAN TYPE LINES OF WELL PACKED DIRT, AND WILL BE COVERED WITH A MINIMUM OF 12" FILL. (SEE NOTE 17).
11. ALL TELEPHONE TERMINALS, SERVICE SECTIONS, DISTRIBUTION PANELS (EXCEPT AS NOTED) TO BE MOUNTED IN 12" X 12" "DOG-HOUSE" ENCLOSURE. SEE ARCHITECTURAL DWGS. FOR EXACT LOCATIONS & SIZES. ELECTRICAL CONTRACTOR TO PROVIDE (1) TYPE "M" FIXTURE IN EACH ENCLOSURE AND CONNECT 1/2" - 2 1/2" TO CIRCUIT 1 OF DISTRIBUTION PANEL (60-PASS TIME CLOCK).
12. SURFACE OR SUB-SURFACE TRANSFORMER FURNISHED AND INSTALLED BY P.G. & E. ELECTRICAL CONTRACTOR TO CO-ORDINATE BETWEEN POWER COMPANY AND ARCHITECT AS TO ROUTING OF CONDUITS, TRANSFORMER LOCATIONS, ETC. PROVIDE BARRIER PROTECTION FOR TRANSFORMER AS REQUIRED BY POWER COMPANY.
13. BUILDING SERVICE SECTION. SEE SINGLE LINE DIAGRAM.
14. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL 1" C.O. PLASTIC ABS-OR FOR PRIMARY POWER SERVICE, MINIMUM 36" BELOW FINISHED GRADE. POWER COMPANY TO FURNISH AND INSTALL PRIMARY CONDUCTORS.
15. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL SECONDARY CONDUIT FROM TRANSFORMER TO SERVICE SECTION, MINIMUM 4" BELOW FINISHED GRADE. SEE SINGLE LINE DIAGRAMS. POWER COMPANY TO FURNISH AND INSTALL SECONDARY CONDUCTORS. (VERIFY EXCESS CABLE CHARGES WITH POWER COMPANY).
16. ALL PRIMARY AND SECONDARY SERVICE CONDUITS SHALL HAVE MINIMUM NUMBER AND RADIUS SIZE BENDS AS REQUIRED BY POWER COMPANY.
17. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER CLEARANCES BETWEEN ALL POWER AND TELEPHONE CONDUITS AS REQUIRED BY BOTH UTILITY COMPANIES.
18. SEE PACIFIC GAS AND ELECTRIC RULE NO. 15.1 FOR POWER COMPANY REQUIREMENTS.

UTILITIES NOTE:

P.G. & E. SHALL PROVIDE ALL NECESSARY POWER & TELEPHONE COMPANY REQUIREMENTS INCLUDING ALL TRENCHING, CONCRETE ENCLOSURES, CONDUITS, U.G. PULL BOXES, TERMINALS, ETC. VERIFY ALL REQUIREMENTS WITH THE FOLLOWING UTILITY COMPANIES.

POWER CO. - PACIFIC GAS & ELECTRIC CO.
MR. CHARLES LAING
825/544-3110

TELEPHONE CO. - PACIFIC TELEPHONE CO.
MR. BOB FARR
825/543-2001

SHEET SCHEDULE

- 1. SITE PLAN
- 2. SYMBOLS, NOTES AND SCHEDULES
- 3. SINGLE LINE DIAGRAM
- 4. CONDUIT AND CABLE SCHEDULES
- 5. ELECTRICAL AND TELEPHONE SCHEDULES
- 6. LIGHTING PLAN
- 7. TYPICAL TELEPHONE TERMINAL
- 8. TYPICAL TELEPHONE PULLBOX
- 9. TYPICAL TELEPHONE SERVICE SECTION
- 10. TYPICAL TELEPHONE DISTRIBUTION PANEL
- 11. TYPICAL TELEPHONE ENCLOSURE
- 12. TYPICAL TELEPHONE CONDUIT
- 13. TYPICAL TELEPHONE BEND
- 14. TYPICAL TELEPHONE JUNCTION
- 15. TYPICAL TELEPHONE TRENCH
- 16. TYPICAL TELEPHONE MANHOLE
- 17. TYPICAL TELEPHONE RISE
- 18. TYPICAL TELEPHONE FALL
- 19. TYPICAL TELEPHONE CROSSING
- 20. TYPICAL TELEPHONE UNDERPASS
- 21. TYPICAL TELEPHONE OVERPASS
- 22. TYPICAL TELEPHONE TOWER
- 23. TYPICAL TELEPHONE MAST
- 24. TYPICAL TELEPHONE POLE
- 25. TYPICAL TELEPHONE WIRE
- 26. TYPICAL TELEPHONE CABLE
- 27. TYPICAL TELEPHONE CONDUIT
- 28. TYPICAL TELEPHONE BEND
- 29. TYPICAL TELEPHONE JUNCTION
- 30. TYPICAL TELEPHONE TRENCH
- 31. TYPICAL TELEPHONE MANHOLE
- 32. TYPICAL TELEPHONE RISE
- 33. TYPICAL TELEPHONE FALL
- 34. TYPICAL TELEPHONE CROSSING
- 35. TYPICAL TELEPHONE UNDERPASS
- 36. TYPICAL TELEPHONE OVERPASS
- 37. TYPICAL TELEPHONE TOWER
- 38. TYPICAL TELEPHONE MAST
- 39. TYPICAL TELEPHONE POLE
- 40. TYPICAL TELEPHONE WIRE
- 41. TYPICAL TELEPHONE CABLE
- 42. TYPICAL TELEPHONE CONDUIT
- 43. TYPICAL TELEPHONE BEND
- 44. TYPICAL TELEPHONE JUNCTION
- 45. TYPICAL TELEPHONE TRENCH
- 46. TYPICAL TELEPHONE MANHOLE
- 47. TYPICAL TELEPHONE RISE
- 48. TYPICAL TELEPHONE FALL
- 49. TYPICAL TELEPHONE CROSSING
- 50. TYPICAL TELEPHONE UNDERPASS
- 51. TYPICAL TELEPHONE OVERPASS
- 52. TYPICAL TELEPHONE TOWER
- 53. TYPICAL TELEPHONE MAST
- 54. TYPICAL TELEPHONE POLE
- 55. TYPICAL TELEPHONE WIRE
- 56. TYPICAL TELEPHONE CABLE
- 57. TYPICAL TELEPHONE CONDUIT
- 58. TYPICAL TELEPHONE BEND
- 59. TYPICAL TELEPHONE JUNCTION
- 60. TYPICAL TELEPHONE TRENCH
- 61. TYPICAL TELEPHONE MANHOLE
- 62. TYPICAL TELEPHONE RISE
- 63. TYPICAL TELEPHONE FALL
- 64. TYPICAL TELEPHONE CROSSING
- 65. TYPICAL TELEPHONE UNDERPASS
- 66. TYPICAL TELEPHONE OVERPASS
- 67. TYPICAL TELEPHONE TOWER
- 68. TYPICAL TELEPHONE MAST
- 69. TYPICAL TELEPHONE POLE
- 70. TYPICAL TELEPHONE WIRE
- 71. TYPICAL TELEPHONE CABLE
- 72. TYPICAL TELEPHONE CONDUIT
- 73. TYPICAL TELEPHONE BEND
- 74. TYPICAL TELEPHONE JUNCTION
- 75. TYPICAL TELEPHONE TRENCH
- 76. TYPICAL TELEPHONE MANHOLE
- 77. TYPICAL TELEPHONE RISE
- 78. TYPICAL TELEPHONE FALL
- 79. TYPICAL TELEPHONE CROSSING
- 80. TYPICAL TELEPHONE UNDERPASS
- 81. TYPICAL TELEPHONE OVERPASS
- 82. TYPICAL TELEPHONE TOWER
- 83. TYPICAL TELEPHONE MAST
- 84. TYPICAL TELEPHONE POLE
- 85. TYPICAL TELEPHONE WIRE
- 86. TYPICAL TELEPHONE CABLE
- 87. TYPICAL TELEPHONE CONDUIT
- 88. TYPICAL TELEPHONE BEND
- 89. TYPICAL TELEPHONE JUNCTION
- 90. TYPICAL TELEPHONE TRENCH
- 91. TYPICAL TELEPHONE MANHOLE
- 92. TYPICAL TELEPHONE RISE
- 93. TYPICAL TELEPHONE FALL
- 94. TYPICAL TELEPHONE CROSSING
- 95. TYPICAL TELEPHONE UNDERPASS
- 96. TYPICAL TELEPHONE OVERPASS
- 97. TYPICAL TELEPHONE TOWER
- 98. TYPICAL TELEPHONE MAST
- 99. TYPICAL TELEPHONE POLE
- 100. TYPICAL TELEPHONE WIRE
- 101. TYPICAL TELEPHONE CABLE
- 102. TYPICAL TELEPHONE CONDUIT
- 103. TYPICAL TELEPHONE BEND
- 104. TYPICAL TELEPHONE JUNCTION
- 105. TYPICAL TELEPHONE TRENCH
- 106. TYPICAL TELEPHONE MANHOLE
- 107. TYPICAL TELEPHONE RISE
- 108. TYPICAL TELEPHONE FALL
- 109. TYPICAL TELEPHONE CROSSING
- 110. TYPICAL TELEPHONE UNDERPASS
- 111. TYPICAL TELEPHONE OVERPASS
- 112. TYPICAL TELEPHONE TOWER
- 113. TYPICAL TELEPHONE MAST
- 114. TYPICAL TELEPHONE POLE
- 115. TYPICAL TELEPHONE WIRE
- 116. TYPICAL TELEPHONE CABLE
- 117. TYPICAL TELEPHONE CONDUIT
- 118. TYPICAL TELEPHONE BEND
- 119. TYPICAL TELEPHONE JUNCTION
- 120. TYPICAL TELEPHONE TRENCH
- 121. TYPICAL TELEPHONE MANHOLE
- 122. TYPICAL TELEPHONE RISE
- 123. TYPICAL TELEPHONE FALL
- 124. TYPICAL TELEPHONE CROSSING
- 125. TYPICAL TELEPHONE UNDERPASS
- 126. TYPICAL TELEPHONE OVERPASS
- 127. TYPICAL TELEPHONE TOWER
- 128. TYPICAL TELEPHONE MAST
- 129. TYPICAL TELEPHONE POLE
- 130. TYPICAL TELEPHONE WIRE
- 131. TYPICAL TELEPHONE CABLE
- 132. TYPICAL TELEPHONE CONDUIT
- 133. TYPICAL TELEPHONE BEND
- 134. TYPICAL TELEPHONE JUNCTION
- 135. TYPICAL TELEPHONE TRENCH
- 136. TYPICAL TELEPHONE MANHOLE
- 137. TYPICAL TELEPHONE RISE
- 138. TYPICAL TELEPHONE FALL
- 139. TYPICAL TELEPHONE CROSSING
- 140. TYPICAL TELEPHONE UNDERPASS
- 141. TYPICAL TELEPHONE OVERPASS
- 142. TYPICAL TELEPHONE TOWER
- 143. TYPICAL TELEPHONE MAST
- 144. TYPICAL TELEPHONE POLE
- 145. TYPICAL TELEPHONE WIRE
- 146. TYPICAL TELEPHONE CABLE
- 147. TYPICAL TELEPHONE CONDUIT
- 148. TYPICAL TELEPHONE BEND
- 149. TYPICAL TELEPHONE JUNCTION
- 150. TYPICAL TELEPHONE TRENCH
- 151. TYPICAL TELEPHONE MANHOLE
- 152. TYPICAL TELEPHONE RISE
- 153. TYPICAL TELEPHONE FALL
- 154. TYPICAL TELEPHONE CROSSING
- 155. TYPICAL TELEPHONE UNDERPASS
- 156. TYPICAL TELEPHONE OVERPASS
- 157. TYPICAL TELEPHONE TOWER
- 158. TYPICAL TELEPHONE MAST
- 159. TYPICAL TELEPHONE POLE
- 160. TYPICAL TELEPHONE WIRE
- 161. TYPICAL TELEPHONE CABLE
- 162. TYPICAL TELEPHONE CONDUIT
- 163. TYPICAL TELEPHONE BEND
- 164. TYPICAL TELEPHONE JUNCTION
- 165. TYPICAL TELEPHONE TRENCH
- 166. TYPICAL TELEPHONE MANHOLE
- 167. TYPICAL TELEPHONE RISE
- 168. TYPICAL TELEPHONE FALL
- 169. TYPICAL TELEPHONE CROSSING
- 170. TYPICAL TELEPHONE UNDERPASS
- 171. TYPICAL TELEPHONE OVERPASS
- 172. TYPICAL TELEPHONE TOWER
- 173. TYPICAL TELEPHONE MAST
- 174. TYPICAL TELEPHONE POLE
- 175. TYPICAL TELEPHONE WIRE
- 176. TYPICAL TELEPHONE CABLE
- 177. TYPICAL TELEPHONE CONDUIT
- 178. TYPICAL TELEPHONE BEND
- 179. TYPICAL TELEPHONE JUNCTION
- 180. TYPICAL TELEPHONE TRENCH
- 181. TYPICAL TELEPHONE MANHOLE
- 182. TYPICAL TELEPHONE RISE
- 183. TYPICAL TELEPHONE FALL
- 184. TYPICAL TELEPHONE CROSSING
- 185. TYPICAL TELEPHONE UNDERPASS
- 186. TYPICAL TELEPHONE OVERPASS
- 187. TYPICAL TELEPHONE TOWER
- 188. TYPICAL TELEPHONE MAST
- 189. TYPICAL TELEPHONE POLE
- 190. TYPICAL TELEPHONE WIRE
- 191. TYPICAL TELEPHONE CABLE
- 192. TYPICAL TELEPHONE CONDUIT
- 193. TYPICAL TELEPHONE BEND
- 194. TYPICAL TELEPHONE JUNCTION
- 195. TYPICAL TELEPHONE TRENCH
- 196. TYPICAL TELEPHONE MANHOLE
- 197. TYPICAL TELEPHONE RISE
- 198. TYPICAL TELEPHONE FALL
- 199. TYPICAL TELEPHONE CROSSING
- 200. TYPICAL TELEPHONE UNDERPASS
- 201. TYPICAL TELEPHONE OVERPASS
- 202. TYPICAL TELEPHONE TOWER
- 203. TYPICAL TELEPHONE MAST
- 204. TYPICAL TELEPHONE POLE
- 205. TYPICAL TELEPHONE WIRE
- 206. TYPICAL TELEPHONE CABLE
- 207. TYPICAL TELEPHONE CONDUIT
- 208. TYPICAL TELEPHONE BEND
- 209. TYPICAL TELEPHONE JUNCTION
- 210. TYPICAL TELEPHONE TRENCH
- 211. TYPICAL TELEPHONE MANHOLE
- 212. TYPICAL TELEPHONE RISE
- 213. TYPICAL TELEPHONE FALL
- 214. TYPICAL TELEPHONE CROSSING
- 215. TYPICAL TELEPHONE UNDERPASS
- 216. TYPICAL TELEPHONE OVERPASS
- 217. TYPICAL TELEPHONE TOWER
- 218. TYPICAL TELEPHONE MAST
- 219. TYPICAL TELEPHONE POLE
- 220. TYPICAL TELEPHONE WIRE
- 221. TYPICAL TELEPHONE CABLE
- 222. TYPICAL TELEPHONE CONDUIT
- 223. TYPICAL TELEPHONE BEND
- 224. TYPICAL TELEPHONE JUNCTION
- 225. TYPICAL TELEPHONE TRENCH
- 226. TYPICAL TELEPHONE MANHOLE
- 227. TYPICAL TELEPHONE RISE
- 228. TYPICAL TELEPHONE FALL
- 229. TYPICAL TELEPHONE CROSSING
- 230. TYPICAL TELEPHONE UNDERPASS
- 231. TYPICAL TELEPHONE OVERPASS
- 232. TYPICAL TELEPHONE TOWER
- 233. TYPICAL TELEPHONE MAST
- 234. TYPICAL TELEPHONE POLE
- 235. TYPICAL TELEPHONE WIRE
- 236. TYPICAL TELEPHONE CABLE
- 237. TYPICAL TELEPHONE CONDUIT
- 238. TYPICAL TELEPHONE BEND
- 239. TYPICAL TELEPHONE JUNCTION
- 240. TYPICAL TELEPHONE TRENCH
- 241. TYPICAL TELEPHONE MANHOLE
- 242. TYPICAL TELEPHONE RISE
- 243. TYPICAL TELEPHONE FALL
- 244. TYPICAL TELEPHONE CROSSING
- 245. TYPICAL TELEPHONE UNDERPASS
- 246. TYPICAL TELEPHONE OVERPASS
- 247. TYPICAL TELEPHONE TOWER
- 248. TYPICAL TELEPHONE MAST
- 249. TYPICAL TELEPHONE POLE
- 250. TYPICAL TELEPHONE WIRE
- 251. TYPICAL TELEPHONE CABLE
- 252. TYPICAL TELEPHONE CONDUIT
- 253. TYPICAL TELEPHONE BEND
- 254. TYPICAL TELEPHONE JUNCTION
- 255. TYPICAL TELEPHONE TRENCH
- 256. TYPICAL TELEPHONE MANHOLE
- 257. TYPICAL TELEPHONE RISE
- 258. TYPICAL TELEPHONE FALL
- 259. TYPICAL TELEPHONE CROSSING
- 260. TYPICAL TELEPHONE UNDERPASS
- 261. TYPICAL TELEPHONE OVERPASS
- 262. TYPICAL TELEPHONE TOWER
- 263. TYPICAL TELEPHONE MAST
- 264. TYPICAL TELEPHONE POLE
- 265. TYPICAL TELEPHONE WIRE
- 266. TYPICAL TELEPHONE CABLE
- 267. TYPICAL TELEPHONE CONDUIT
- 268. TYPICAL TELEPHONE BEND
- 269. TYPICAL TELEPHONE JUNCTION
- 270. TYPICAL TELEPHONE TRENCH
- 271. TYPICAL TELEPHONE MANHOLE
- 272. TYPICAL TELEPHONE RISE
- 273. TYPICAL TELEPHONE FALL
- 274. TYPICAL TELEPHONE CROSSING
- 275. TYPICAL TELEPHONE UNDERPASS
- 276. TYPICAL TELEPHONE OVERPASS
- 277. TYPICAL TELEPHONE TOWER
- 278. TYPICAL TELEPHONE MAST
- 279. TYPICAL TELEPHONE POLE
- 280. TYPICAL TELEPHONE WIRE
- 281. TYPICAL TELEPHONE CABLE
- 282. TYPICAL TELEPHONE CONDUIT
- 283. TYPICAL TELEPHONE BEND
- 284. TYPICAL TELEPHONE JUNCTION
- 285. TYPICAL TELEPHONE TRENCH
- 286. TYPICAL TELEPHONE MANHOLE
- 287. TYPICAL TELEPHONE RISE
- 288. TYPICAL TELEPHONE FALL
- 289. TYPICAL TELEPHONE CROSSING
- 290. TYPICAL TELEPHONE UNDERPASS
- 291. TYPICAL TELEPHONE OVERPASS
- 292. TYPICAL TELEPHONE TOWER
- 293. TYPICAL TELEPHONE MAST
- 294. TYPICAL TELEPHONE POLE
- 295. TYPICAL TELEPHONE WIRE
- 296. TYPICAL TELEPHONE CABLE
- 297. TYPICAL TELEPHONE CONDUIT
- 298. TYPICAL TELEPHONE BEND
- 299. TYPICAL TELEPHONE JUNCTION
- 300. TYPICAL TELEPHONE TRENCH
- 301. TYPICAL TELEPHONE MANHOLE
- 302. TYPICAL TELEPHONE RISE
- 303. TYPICAL TELEPHONE FALL
- 304. TYPICAL TELEPHONE CROSSING
- 305. TYPICAL TELEPHONE UNDERPASS
- 306. TYPICAL TELEPHONE OVERPASS
- 307. TYPICAL TELEPHONE TOWER
- 308. TYPICAL TELEPHONE MAST
- 309. TYPICAL TELEPHONE POLE
- 310. TYPICAL TELEPHONE WIRE
- 311. TYPICAL TELEPHONE CABLE
- 312. TYPICAL TELEPHONE CONDUIT
- 313. TYPICAL TELEPHONE BEND
- 314. TYPICAL TELEPHONE JUNCTION
- 315. TYPICAL TELEPHONE TRENCH
- 316. TYPICAL TELEPHONE MANHOLE
- 317. TYPICAL TELEPHONE RISE
- 318. TYPICAL TELEPHONE FALL
- 319. TYPICAL TELEPHONE CROSSING
- 320. TYPICAL TELEPHONE UNDERPASS
- 321. TYPICAL TELEPHONE OVERPASS
- 322. TYPICAL TELEPHONE TOWER
- 323. TYPICAL TELEPHONE MAST
- 324. TYPICAL TELEPHONE POLE
- 325. TYPICAL TELEPHONE WIRE
- 326. TYPICAL TELEPHONE CABLE
- 327. TYPICAL TELEPHONE CONDUIT
- 328. TYPICAL TELEPHONE BEND
- 329. TYPICAL TELEPHONE JUNCTION
- 330. TYPICAL TELEPHONE TRENCH
- 331. TYPICAL TELEPHONE MANHOLE
- 332. TYPICAL TELEPHONE RISE
- 333. TYPICAL TELEPHONE FALL
- 334. TYPICAL TELEPHONE CROSSING
- 335. TYPICAL TELEPHONE UNDERPASS
- 336. TYPICAL TELEPHONE OVERPASS
- 337. TYPICAL TELEPHONE TOWER
- 338. TYPICAL TELEPHONE MAST
- 339. TYPICAL TELEPHONE POLE
- 340. TYPICAL TELEPHONE WIRE
- 341. TYPICAL TELEPHONE CABLE
- 342. TYPICAL TELEPHONE CONDUIT
- 343. TYPICAL TELEPHONE BEND
- 344. TYPICAL TELEPHONE JUNCTION
- 345. TYPICAL TELEPHONE TRENCH
- 346. TYPICAL TELEPHONE MANHOLE
- 347. TYPICAL TELEPHONE RISE
- 348. TYPICAL TELEPHONE FALL
- 349. TYPICAL TELEPHONE CROSSING
- 350. TYPICAL TELEPHONE UNDERPASS
- 351. TYPICAL TELEPHONE OVERPASS
- 352. TYPICAL TELEPHONE TOWER
- 353. TYPICAL TELEPHONE MAST
- 354. TYPICAL TELEPHONE POLE
- 355. TYPICAL TELEPHONE WIRE
- 356. TYPICAL TELEPHONE CABLE
- 357. TYPICAL TELEPHONE CONDUIT
- 358. TYPICAL TELEPHONE BEND
- 359. TYPICAL TELEPHONE JUNCTION
- 360. TYPICAL TELEPHONE TRENCH
- 361. TYPICAL TELEPHONE MANHOLE
- 362. TYPICAL TELEPHONE RISE
- 363. TYPICAL TELEPHONE FALL
- 364. TYPICAL TELEPHONE CROSSING
- 365. TYPICAL TELEPHONE UNDERPASS
- 366. TYPICAL TELEPHONE OVERPASS
- 367. TYPICAL TELEPHONE TOWER
- 368. TYPICAL TELEPHONE MAST
- 369. TYPICAL TELEPHONE POLE
- 370. TYPICAL TELEPHONE WIRE
- 371. TYPICAL TELEPHONE CABLE
- 372. TYPICAL TELEPHONE CONDUIT
- 373. TYPICAL TELEPHONE BEND
- 374. TYPICAL TELEPHONE JUNCTION
- 375. TYPICAL TELEPHONE TRENCH
- 376. TYPICAL TELEPHONE MANHOLE
- 377. TYPICAL TELEPHONE RISE
- 378. TYPICAL TELEPHONE FALL
- 379. TYPICAL TELEPHONE CROSSING
- 380. TYPICAL TELEPHONE UNDERPASS
- 381. TYPICAL TELEPHONE OVERPASS
- 382. TYPICAL TELEPHONE TOWER
- 383. TYPICAL TELEPHONE MAST
- 384. TYPICAL TELEPHONE POLE
- 385. TYPICAL TELEPHONE WIRE
- 386. TYPICAL TELEPHONE CABLE
- 387. TYPICAL TELEPHONE CONDUIT
- 388. TYPICAL TELEPHONE BEND
- 389. TYPICAL TELEPHONE JUNCTION
- 390. TYPICAL TELEPHONE TRENCH
- 391. TYPICAL TELEPHONE MANHOLE
- 392. TYPICAL TELEPHONE RISE
- 393. TYPICAL TELEPHONE FALL
- 394. TYPICAL TELEPHONE CROSSING
- 395. TYPICAL TELEPHONE UNDERPASS
- 396. TYPICAL TELEPHONE OVERPASS
- 397. TYPICAL TELEPHONE TOWER
- 398. TYPICAL TELEPHONE MAST
- 399. TYPICAL TELEPHONE POLE
- 400. TYPICAL TELEPHONE WIRE
- 401. TYPICAL TELEPHONE CABLE
- 402. TYPICAL TELEPHONE CONDUIT
- 403. TYPICAL TELEPHONE BEND
- 404. TYPICAL TELEPHONE JUNCTION
- 405. TYPICAL TELEPHONE TRENCH
- 406. TYPICAL TELEPHONE MANHOLE
- 407. TYPICAL TELEPHONE RISE
- 408. TYPICAL TELEPHONE FALL
- 409. TYPICAL TELEPHONE CROSSING
- 410. TYPICAL TELEPHONE UNDERPASS
- 411. TYPICAL TELEPHONE OVERPASS
- 412. TYPICAL TELEPHONE TOWER
- 413. TYPICAL TELEPHONE MAST
- 414. TYPICAL TELEPHONE POLE
- 415. TYPICAL TELEPHONE WIRE
- 416. TYPICAL TELEPHONE CABLE
- 417. TYPICAL TELEPHONE CONDUIT
- 418. TYPICAL TELEPHONE BEND
- 419. TYPICAL TELEPHONE JUNCTION
- 420. TYPICAL TELEPHONE TRENCH
- 421. TYPICAL TELEPHONE MANHOLE
- 422. TYPICAL TELEPHONE RISE
- 423. TYPICAL TELEPHONE FALL
- 424. TYPICAL TELEPHONE CROSSING
- 425. TYPICAL TELEPHONE UNDERPASS
- 426. TYPICAL TELEPHONE OVERPASS
- 427. TYPICAL TELEPHONE TOWER
- 428. TYPICAL TELEPHONE MAST
- 429. TYPICAL TELEPHONE POLE
- 430. TYPICAL TELEPHONE WIRE
- 431. TYPICAL TELEPHONE CABLE
- 432. TYPICAL TELEPHONE CONDUIT
- 433. TYPICAL TELEPHONE BEND
- 434. TYPICAL TELEPHONE JUNCTION
- 435. TYPICAL TELEPHONE TRENCH
- 436. TYPICAL TELEPHONE MANHOLE
- 437. TYPICAL TELEPHONE RISE
- 438. TYPICAL TELEPHONE FALL
- 439. TYPICAL TELEPHONE CROSSING
- 440. TYPICAL TELEPHONE UNDERPASS
- 441. TYPICAL TELEPHONE OVERPASS
- 442. TYPICAL TELEPHONE TOWER
- 443. TYPICAL TELEPHONE MAST
- 444. TYPICAL TELEPHONE POLE
- 445. TYPICAL TELEPHONE WIRE
- 446. TYPICAL TELEPHONE CABLE
- 447. TYPICAL TELEPHONE CONDUIT
- 448. TYPICAL TELEPHONE BEND
- 449. TYPICAL TELEPHONE JUNCTION
- 450. TYPICAL TELEPHONE TRENCH
- 451. TYPICAL TELEPHONE MANHOLE
- 452. TYPICAL TELEPHONE RISE
- 453. TYPICAL TELEPHONE FALL
- 454. TYPICAL TELEPHONE CROSSING
- 455. TYPICAL TELEPHONE UNDERPASS
- 456. TYPICAL TELEPHONE OVERPASS
- 457. TYPICAL TELEPHONE TOWER
- 458. TYPICAL TELEPHONE MAST
- 459. TYPICAL TELEPHONE POLE
- 460. TYPICAL TELEPHONE WIRE
- 461. TYPICAL TELEPHONE CABLE
- 462. TYPICAL TELEPHONE CONDUIT
- 463. TYPICAL TELEPHONE BEND
- 464. TYPICAL TELEPHONE JUNCTION
- 465. TYPICAL TELEPHONE TRENCH
- 466. TYPICAL TELEPHONE MANHOLE
- 467. TYPICAL TELEPHONE RISE
- 468. TYPICAL TELEPHONE FALL
- 469. TYPICAL TELEPHONE CROSSING
- 470. TYPICAL TELEPHONE UNDERPASS
- 471. TYPICAL TELEPHONE OVERPASS
- 472. TYPICAL TELEPHONE TOWER
- 473. TYPICAL TELEPHONE MAST
- 474. TYPICAL TELEPHONE POLE
- 475. TYPICAL TELEPHONE WIRE
- 476. TYPICAL TELEPHONE CABLE
- 477. TYPICAL TELEPHONE CONDUIT
- 478. TYPICAL TELEPHONE BEND
- 479. TYPICAL TELEPHONE JUNCTION
- 480. TYPICAL TELEPHONE TRENCH
- 481. TYPICAL TELEPHONE MANHOLE
- 482. TYPICAL TELEPHONE RISE
- 483. TYPICAL TELEPHONE FALL
- 484. TYPICAL TELEPHONE CROSSING
- 485. TYPICAL TELEPHONE UNDERPASS
- 486. TYPICAL TELEPHONE OVERPASS
- 487. TYPICAL TELEPHONE TOWER
- 488. TYPICAL TELEPHONE MAST
- 489. TYPICAL TELEPHONE POLE
- 490. TYPICAL TELEPHONE WIRE
- 491. TYPICAL TELEPHONE CABLE
- 492. TYPICAL TELEPHONE CONDUIT
- 493. TYPICAL TELEPHONE BEND
- 494. TYPICAL TELEPHONE JUNCTION
- 495. TYPICAL TELEPHONE TRENCH
- 496. TYPICAL TELEPHONE MANHOLE
- 497. TYPICAL TELEPHONE RISE
- 498. TYPICAL TELEPHONE FALL
- 499. TYPICAL TELEPHONE CROSSING
- 500. TYPICAL TELEPHONE UNDERPASS
- 501. TYPICAL TELEPHONE OVERPASS
- 502. TYPICAL TELEPHONE TOWER
- 503. TYPICAL TELEPHONE MAST
- 504. TYPICAL TELEPHONE POLE
- 505. TYPICAL TELEPHONE WIRE
- 506. TYPICAL TELEPHONE CABLE
- 507. TYPICAL TELEPHONE CONDUIT
- 508. TYPICAL TELEPHONE BEND
- 509. TYPICAL TELEPHONE JUNCTION
- 510. TYPICAL TELEPHONE TRENCH
- 511. TYPICAL TELEPHONE MANHOLE
- 512. TYPICAL TELEPHONE RISE
- 513. TYPICAL TELEPHONE FALL
- 514. TYPICAL TELEPHONE CROSSING
- 515. TYPICAL TELEPHONE UNDERPASS
- 516. TYPICAL TELEPHONE OVERPASS
- 517. TYPICAL TELEPHONE TOWER
- 518. TYPICAL TELEPHONE MAST
- 519. TYPICAL TELEPHONE POLE
- 520. TYPICAL TELEPHONE WIRE
- 521. TYPICAL TELEPHONE CABLE
- 522. TYPICAL TELEPHONE CONDUIT
- 523. TYPICAL TELEPHONE BEND
- 524. TYPICAL TELEPHONE JUNCTION
- 525. TYPICAL TELEPHONE TRENCH
- 526. TYPICAL TELEPHONE MANHOLE
- 527. TYPICAL TELEPHONE RISE
- 528. TYPICAL TELEPHONE FALL
- 529. TYPICAL TELEPHONE CROSSING
- 530. TYPICAL TELEPHONE UNDERPASS
- 531. TYPICAL TELEPHONE OVERPASS
- 532. TYPICAL TELEPHONE TOWER
- 533. TYPICAL TELEPHONE MAST
- 534. TYPICAL TELEPHONE POLE
- 535. TYPICAL TELEPHONE WIRE
- 536. TYPICAL TELEPHONE CABLE
- 537. TYPICAL TELEPHONE CONDUIT
- 538. TYPICAL TELEPHONE BEND
- 539. TYPICAL TELEPHONE JUNCTION
- 540. TYPICAL TELEPHONE TRENCH
- 541. TYPICAL TELEPHONE MANHOLE
- 542. TYPICAL TELEPHONE RISE
- 543. TYPICAL TELEPHONE FALL
- 544. TYPICAL TELEPHONE CROSSING
- 545. TYPICAL TELEPHONE UNDERPASS
- 546. TYPICAL TELEPHONE OVERPASS
- 547. TYPICAL TELEPHONE TOWER
- 548. TYPICAL TELEPHONE MAST
- 549. TYPICAL TELEPHONE POLE
- 550. TYPICAL TELEPHONE WIRE
- 551. TYPICAL TELEPHONE CABLE
- 552. TYPICAL TELEPHONE CONDUIT
- 553. TYPICAL TELEPHONE BEND
- 554. TYPICAL TELEPHONE JUNCTION
- 555. TYPICAL TELEPHONE TRENCH
- 556. TYPICAL TELEPHONE MANHOLE
- 557. TYPICAL TELEPHONE RISE
- 558. TYPICAL TELEPHONE FALL
- 559. TYPICAL TELEPHONE CROSSING
- 560. TYPICAL TELEPHONE UNDERPASS
- 561. TYPICAL TELEPHONE OVERPASS
- 562. TYPICAL TELEPHONE TOWER
- 563. TYPICAL TELEPHONE MAST
- 564. TYPICAL TELEPHONE POLE
- 565. TYPICAL TELEPHONE WIRE
- 566. TYPICAL TELEPHONE CABLE
- 567. TYPICAL TELEPHONE CONDUIT
- 568. TYPICAL TELEPHONE BEND
- 569. TYPICAL TELEPHONE JUNCTION
- 570. TYPICAL TELEPHONE TRENCH
- 571. TYPICAL TELEPHONE MANHOLE
- 572. TYPICAL TELEPHONE RISE
- 573. TYPICAL TELEPHONE FALL
- 574. TYPICAL TELEPHONE CROSSING
- 575. TYPICAL TELEPHONE UNDERPASS
- 576. TYPICAL TELEPHONE OVERPASS
- 577. TYPICAL TELEPHONE TOWER
- 578. TYPICAL TELEPHONE MAST
- 579. TYPICAL TELEPHONE POLE
- 580. TYPICAL TELEPHONE WIRE
- 581. TYPICAL TELEPHONE CABLE
- 582. TYPICAL TELEPHONE CONDUIT
- 583. TYPICAL TELEPHONE BEND
- 584. TYPICAL TELEPHONE JUNCTION
- 585. TYPICAL TELEPHONE TRENCH
- 586. TYPICAL TELEPHONE MANHOLE
- 587. TYPICAL TELEPHONE RISE
- 588. TYPICAL TELEPHONE FALL
- 589. TYPICAL TELEPHONE CROSSING
- 590. TYPICAL TELEPHONE UNDERPASS
- 591. TYPICAL TELEPHONE OVERPASS
- 592. TYPICAL TELEPHONE TOWER
- 593. TYPICAL TELEPHONE MAST
- 594. TYPICAL TELEPHONE POLE
- 595. TYPICAL TELEPHONE WIRE
- 596. TYPICAL TELEPHONE CABLE
- 597. TYPICAL TELEPHONE CONDUIT
- 598. TYPICAL TELEPHONE BEND
- 599. TYPICAL TELEPHONE JUNCTION
- 600. TYPICAL TELEPHONE TRENCH
- 601. TYPICAL TELEPHONE MANHOLE
- 602. TYPICAL TELEPHONE RISE
- 603. TYPICAL TELEPHONE FALL
- 604. TYPICAL TELEPHONE CROSSING
- 605. TYPICAL TELEPHONE UNDERPASS
- 606. TYPICAL TELEPHONE OVERPASS
- 607. TYPICAL TELEPHONE TOWER
- 608. TYPICAL TELEPHONE MAST
- 609. TYPICAL TELEPHONE POLE
- 610. TYPICAL TELEPHONE WIRE
- 611. TYPICAL TELEPHONE CABLE
- 612. TYPICAL TELEPHONE CONDUIT
- 613. TYPICAL TELEPHONE BEND
- 614. TYPICAL TELEPHONE JUNCTION
- 615. TYPICAL TELEPHONE TRENCH
- 616. TYPICAL TELEPHONE MANHOLE
- 617. TYPICAL TELEPHONE RISE
- 618. TYPICAL TELEPHONE FALL
- 619. TYPICAL TELEPHONE CROSSING
- 620. TYPICAL TELEPHONE UNDERPASS
- 621. TYPICAL TELEPHONE OVERPASS
- 622. TYPICAL TELEPHONE TOWER
- 623. TYPICAL TELEPHONE MAST
- 624. TYPICAL TELEPHONE POLE
- 625. TYPICAL TELEPHONE WIRE
- 626. TYPICAL TELEPHONE CABLE
- 627. TYPICAL TELEPHONE CONDUIT
- 628. TYPICAL TELEPHONE BEND
- 629. TYPICAL TELEPHONE JUNCTION
- 630. TYPICAL TELEPHONE TRENCH
- 631. TYPICAL TELEPHONE MANHOLE
- 632. TYPICAL TELEPHONE RISE
- 633. TYPICAL TELEPHONE FALL
- 634. TYPICAL TELEPHONE CROSSING
- 635. TYPICAL TELEPHONE UNDERPASS
- 636. TYPICAL TELEPHONE OVERPASS
- 637. TYPICAL TELEPHONE TOWER
- 638. TYPICAL TELEPHONE MAST
- 639. TYPICAL TELEPHONE POLE
- 640. TYPICAL TELEPHONE WIRE
- 641. TYPICAL TELEPHONE CABLE
- 642. TYPICAL TELEPHONE CONDUIT
- 643. TYPICAL TELEPHONE BEND
- 644. TYPICAL TELEPHONE JUNCTION
- 645. TYPICAL TELEPHONE TRENCH
- 646. TYPICAL TELEPHONE MANHOLE
- 647. TYPICAL TELEPHONE RISE
- 648. TYPICAL TELEPHONE FALL
- 649. TYPICAL TELEPHONE CROSSING
- 650. TYPICAL TELEPHONE UNDERPASS
- 651. TYPICAL TELEPHONE OVERPASS
- 652. TYPICAL TELEPHONE TOWER
- 653. TYPICAL TELEPHONE MAST
- 654. TYPICAL TELEPHONE POLE
- 655. TYPICAL TELEPHONE WIRE
- 656. TYPICAL TELEPHONE CABLE
- 657. TYPICAL TELEPHONE CONDUIT
- 658. TYPICAL TELEPHONE BEND
- 659. TYPICAL TELEPHONE JUNCTION
- 660. TYPICAL TELEPHONE TRENCH
- 661. TYPICAL TELEPHONE MANHOLE
- 662. TYPICAL TELEPHONE RISE
- 663. TYPICAL TELEPHONE FALL
- 664. TYPICAL TELEPHONE CROSSING
- 665. TYPICAL TELEPHONE UNDERPASS
- 666. TYPICAL TELEPHONE OVERPASS
- 667. TYPICAL TELEPHONE TOWER
- 668. TYPICAL TELEPHONE MAST
- 669. TYPICAL TELEPHONE POLE
- 670. TYPICAL TELEPHONE WIRE
- 671. TYPICAL TELEPHONE CABLE
- 672. TYPICAL TELEPHONE CONDUIT
- 673. TYPICAL TELEPHONE BEND
- 674. TYPICAL TELEPHONE JUNCTION
- 675. TYPICAL TELEPHONE TRENCH
- 676. TYPICAL TELEPHONE MANHOLE
- 677. TYPICAL TELEPHONE RISE
- 678. TYPICAL TELEPHONE FALL
- 679. TYPICAL TELEPHONE CROSSING
- 680. TYPICAL TELEPHONE UNDERPASS
- 681. TYPICAL TELEPHONE OVERPASS
<

FIXTURE SCHEDULE					
TYPE	MANUFACTURER	CATALOG No. or SERIES	QUANTITY	REMARKS	
A	EAGLE	3008	120	2	KITCHEN - ANTIQUE BRASS
B	EAGLE	1714	120	2	DINING - SATIN BRASS
C	EAGLE	915	120	2	BATH - CHROME WITHOUT CONV. OUTLET
D	EAGLE	414	60	1	HALL - ANTIQUE BRASS
E	EAGLE	303	75	1	BEDROOM - BRASS
F	EAGLE	3006	60	1	PANTRY - ANTIQUE BRASS
G	EAGLE	591	100	1	WALL BRACKET, ALUMINUM
J	SHALDA (2) 300	PLATE - CENTER PLUGGED	300	2	FLOOD - 150W.
J-1	SHALDA (3) 308	PLATE	450	3	FLOOD - 150W.
K	BRYANT	5228	100	1	KEYLESS W/P.C. WHERE INDICATED
L	HALO	H2211-SB	150	2	LAUNDRY - 12" ROUND
M	HALO	H1610-B	150	2	BEG. ROOM - BRASS
N	HALO	H2-R1-B	150	1	PATIO - BRASS FRAME
P	HALO	H2708	50	1	VESTIBULE - 8" ROUND
P-1	HALO	H2710	120	2	TOILETS - 10" ROUND
R	PROGENTIAL	P1302-48AS	100	2	OFFICE
S	SHALDA	808-15	200	1	8" HIGH POST LIGHT WITH 10" FIBERGLASS BALL AND 2" SLIPFITTING 10" X 3" GALV. PIPE SET IN CONCRETE BASE. (12" DIA. X 2' MIN. DEEP) PROVIDE 3" TO 2" REDUCER @ TOP AS REQ'D.
S-1	SHALDA	808-15	200	1	SAME AS "S" EXCEPT 10" HIGH POST USING 12" X 3" GALV. PIPE.

GENERAL NOTES AND SPECIFICATIONS

- THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS.
- THE ELECTRICAL INSTALLATION SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROVISIONS OF THE LOCAL ELECTRICAL CODE, NATIONAL ELECTRIC CODE 1968 EDITION AND ANY OTHER CODE HAVING JURISDICTION. IN ANY CASE, THE MOST STRINGENT RULE SHALL APPLY.
- ALL PERMITS SHALL BE OBTAINED AND PAID FOR BY THE E.C. ALL POWER COMPANY CABLE CHARGES, ETC., SHALL BE PAID FOR BY THE E.C.
- IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL WORK IN ACCORDANCE WITH STAMPED PLANS APPROVED BY THE ELECTRICAL DIVISION OF THE DEPARTMENT OF BUILDING & SAFETY, AND BY THE FIRE DEPARTMENT (WHEN A FIRE ALARM SYSTEM IS REQUIRED.)
- THE SERVICE INSTALLATION OR INSTALLATIONS AND METERING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE SERVING POWER COMPANY, THE COMPLETE TELEPHONE INSTALLATION, INCLUDING UNDERGROUND TELEPHONE SERVICE, SHALL MEET ALL REQUIREMENTS OF THE SERVING TELEPHONE COMPANY. THE E.C. SHALL VERIFY POLE LOCATIONS, QUADRANTS, SERVICE HEAD HEIGHTS, PULL BOX SIZES, METHOD OF TERMINATION, CLEARANCES, ETC.
- NO METERING SECTIONS SHALL BE INSTALLED ON BEDROOM WALLS WITHOUT SPECIFIC APPROVAL FROM THE POWER COMPANY. IF DRAWINGS INDICATE METERS ON A BEDROOM WALL, THE ELECTRICAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY, AND SHALL BE NOTIFIED PRIOR TO ANY INSTALLATION.
- ALL MAIN BREAKERS OR FUSES INCLUDING APARTMENT MAINS SHALL HAVE THE PROPER SHORT CIRCUIT INTERRUPTING CAPACITY. IF SHORT CIRCUIT VALUES (ISC) ARE NOT INDICATED ON THE DRAWINGS, THE E.C., PRIOR TO SUBMITTING ANY BID, SHALL OBTAIN THESE FIGURES FROM THE ELECTRICAL ENGINEER.
- NO PANELS, INCLUDING F.A. ANNUNCIATORS SHALL BE INSTALLED IN ANY TWO (2) HOUR FIRE DIVISION WALL.
- CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY, EXACT LOCATIONS AND ROUTING TO BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
- WHERE CONSTRUCTION INVOLVES A BUILDING WITH CONCRETE CEILING, NO CONDUIT SHALL BE INSTALLED IN CEILING WITHOUT PRIOR APPROVAL FROM ARCHITECT AND STRUCTURAL ENGINEER, AND THEN ONLY AS DIRECTED BY THEM.
- ALL MATERIAL AND EQUIPMENT SHALL BE NEW AND UNLESS OTHERWISE NOTED SHALL BE FURNISHED AND INSTALLED BY THE E.C.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY DIMENSIONS, CLEARANCES, OBSTRUCTIONS, TYPE OF CONSTRUCTION, DOOR SWINGS (TO CLEAR SWITCHES), KITCHEN AND BATH SINK AND SPLASH BOARD DIMENSIONS, BATH MIRRORS (TO CLEAR RECEPTACLES), ETC., PRIOR TO INSTALLATION.
- THE E.C. SHALL INSTALL * TELEPHONE AND * TELEVISION OUTLETS IN EACH APARTMENT AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE. (* INDICATES - TO BE VERIFIED WITH OWNER.) E.C. TO FURNISH A COMPLETE T.V. SYSTEM - SEE SPEC'S FOR TYPE.
- ALL PANEL DESIGNATIONS OR NUMBERS CORRESPOND TO APARTMENT NUMBERS.
- ALL BRANCH CIRCUITS WITHIN APARTMENTS HAVE LESS THAN 22 V.D.
- ALL OUTLETS WITH (11) OR LESS #12 CONDUCTORS SHALL BE 4 1/2" X 1-1/2" AND OUTLETS WITH (12) THROUGH (21) #12 CONDUCTORS SHALL BE 4-11/16" X 2-1/2".
- EXACT LOCATION OF ALL PLANTER AND LANDSCAPE LIGHTING TO BE VERIFIED WITH THE OWNER OR HIS REPRESENTATIVE PRIOR TO INSTALLATION.
- E.C. TO INSTALL ALL LIGHT FIXTURES FURNISHED BY OWNER.
- CONTRACTORS SHALL VERIFY EXACT LOCATION OF ALL FORCED AIR UNITS, CIRCULATING PUMPS, EXHAUST FANS, AND ANY OTHER SPECIAL EQUIPMENT INCLUDING ALL APPLIANCES.
- VERIFY WITH OWNER OR HIS REPRESENTATIVE WHICH APPLIANCES ARE TO BE FURNISHED BY ELECTRICAL CONTRACTOR. VERIFY ALL APPLIANCE TYPES WITH OWNER. THIS VERIFICATION TO BE MADE PRIOR TO SUBMITTING ANY BID.
- E.C. TO PROVIDE A TEMPORARY CONSTRUCTION SERVICE AS REQUIRED FOR PROJECT.



ELECTRICAL SYMBOLS

CONDUIT: HOME RUN TO PANEL, NUMERALS DENOTE CIRCUITS.
 FLEX CONDUIT OR EMT CONCEALED IN WALL OR CEILING.
 CONDUIT, BELOW GRADE OR FLOOR.
 1/2" C. 2 #12
 1/2" C. 2 #12
 3/4" C. 4 #12
 3/4" C. 4 #12

NOTE: EXCEPT FOR LIGHTING RECEPTACLE CIRCUITS, WHERE 15 AMP CIRCUIT BREAKERS ARE INSTALLED FOR SMALL APPLIANCES, 40 AMP MAY BE USED.
 INCANDESCENT LIGHTING OUTLET IN CEILING, SURFACE OR PENDANT.
 RECESSED INCANDESCENT LIGHTING FIXTURE, FURNISHED BY ELECTRICAL CONTRACTOR - UNLESS OTHERWISE NOTED.
 INCANDESCENT LIGHTING OUTLET, WALL MOUNTED, 7' ± ABOVE FLOOR UNLESS OTHERWISE NOTED (4" ± ABOVE BATHROOM MIRRORS.)
 FLOODLIGHT MOUNTED ON CONDUIT, HEIGHT AS NOTED. ARROWS DENOTE NUMBER OF FIXTURES.
 POST LIGHT. SEE PLAN & FIXTURE SCHEDULE.
 FLUORESCENT LIGHTING FIXTURE.
 WHEN THIS SYMBOL IS USED ON DRAWINGS, LETTER INDICATES LIGHT FIXTURE TYPE (SEE FIXTURE SCHEDULE). INDICATES FURNISHED BY E.C. UNLESS OTHERWISE NOTED.
 120/240V, 1 PHASE, 3W, S/N LIGHTING PANEL, FLUSH MOUNTED.
 120/240V, 1 PHASE, 3W, S/N LIGHTING PANEL, SURFACE MOUNTED.
 JUNCTION BOX, SIZE AS REQUIRED OR AS NOTED, WHEN OUTDOORS W.P.
 FLUSH WALL SWITCH - IVORY - 15" RATED - SIERRA #5011 SERIES.
 #, D, C INDICATES NO. OF SPST SWITCHES AND ITEMS CONTROLLED
 2 INDICATES 2 POLE
 3 INDICATES 3-WAY
 F INDICATES FRACTIONAL HP MANUAL STARTER W/O L.L.S & DISCONNECT
 P INDICATES WITH PILOT LIGHT - SIERRA #5027R
 DUPLEX CONVENIENCE RECEPTACLE, 120V, 1 PHASE, 3W, GROUND TYPE, AND 12" A.F. UNLESS NOTED. SIERRA #1510
 DUPLEX CONVENIENCE RECEPTACLE WITH TOP PORTION HOT AND BOTTOM PORTION SWITCHED.
 CLOCK OUTLET.
 DISCONNECT SWITCH, HORSEPOWER RATED, SEE PLANS FOR SIZE.
 MOTOR SIZE AS NOTED.
 THERMOSTAT, VERIFY LOCATIONS WITH MECHANICAL DWGS. AND W/A.C. CONTRACTOR.
 TELEPHONE OUTLET, VERIFY LOCATIONS WITH OWNER OR HIS REPRESENTATIVE.
 TELEVISION OUTLET, VERIFY LOCATIONS WITH OWNER OR HIS REPRESENTATIVE.
 RANGE HOOD, 120V, W/FAN AND LIGHT, PREWIRED, SEE OWNER FOR TYPE.
 EXH. FAN, 120V, TO BE SWITCHED WITH LT. BURNS AIR KING #BFBC-263 FLOOR 25.00 1ST FLOOR
 GARBAGE DISPOSAL, 1/4 HP, 120V, 1 PHASE.
 INDICATES SPECIAL NOTE - SEE DRAWING CONTAINING SPECIAL NOTES.
 INDICATES FEEDER SIZE. SEE FEEDER SIZE SCHEDULE.
 CEILING HEATER, 120V, BURNS AIR KING #LH4

ABBREVIATIONS:

A/C	AIR COND. UNIT	P.C.	PULL CHAIN	L.R.	LIVING ROOM
A.F.	ABOVE FLOOR	W.P.	WEATHERPROOF	CU	COPPER
C.O.	CONDUIT ONLY	B	BATHROOM	Z/L	ALUMINUM
E	EXHAUST FAN	H.R.	HALL	R	RECEPTACLE
E.C.	ELECTRICAL CONTRACTOR	C	CLOSET	T.C.	TEL. CABINET
R.H.	RANGE HOOD	D.R.	DINING ROOM		
F.A.	FIRE ALARM	H	HALL		
F.A.U.	FORCED AIR UNIT	K	KITCHEN		
G.D.	GARBAGE DISPOSAL	T	TOILET		
P.B.	PULLBOX	U.U.	UNDERGROUND		

MECH. EQUIPMENT

- SPRINKLER CONTROLLER 200 W. 120V. 1/2"
- FORCED AIR UNIT BLOWER 1/2 HP. 120V. 1/2"

MECHANICAL NOTES

- IT IS THE RESPONSIBILITY OF THE E.C. TO INSTALL EQUIPMENT & WIRING AS REQUIRED AND AS SHOWN ON MECHANICAL DRAWINGS AND SPECIFICATIONS.
- WHILE IT IS THE INTENT THAT ELECTRICAL DRAWINGS SHOW THE WORK OF THE E.C., THE MECHANICAL DRAWINGS MUST BE REFERENCED & REVIEWED IN DETAIL AS THEY DEFINE SYSTEMS, CONTROLS, CONTROL WIRING, EQUIPMENT AND ELECTRICAL CHARACTERISTICS.
- WHILE ALL PLUMBING & MECHANICAL SHEETS SHOULD BE REVIEWED GENERALLY, THE SPECIFIC SHEETS SHOWING REQUIRED ELECTRICAL WORK ARE PLUMBING DRAWINGS, CADDERS & SATTLER A/C DWGS. & LANDSCAPE DWGS.
- ALL DISCONNECTS TO BE HP RATED.
- ALL METERS OUT OF SIGHT AND WITHOUT LOCK OUT TYPE BRANCH CIRCUIT BREAKERS SHALL HAVE HP RATED DISCONNECTS INSTALLED AT UNIT.

EDWARD C. BARKER
 Architect AIA
 P.O. BOX 1287
 GRANGE CALIFORNIA 90009
 TEXTEL
 INCORPORATED
 AREA 714 841-8177

SHEET TITLE SYMBOLS, NOTES AND SCHEDULES

PROJECT
 104 0506 ROAD
 602TMENTS

LOCATION
 SAN LUIS
 OBISPO, CALIF.

CONSULTANT

DITOMASO & ASSOCIATES INC.
 CONSULTING ENGINEERS
 7605 HASSELL AVENUE
 VAN NUYS, CALIF. 91406
 (213) 773-7676

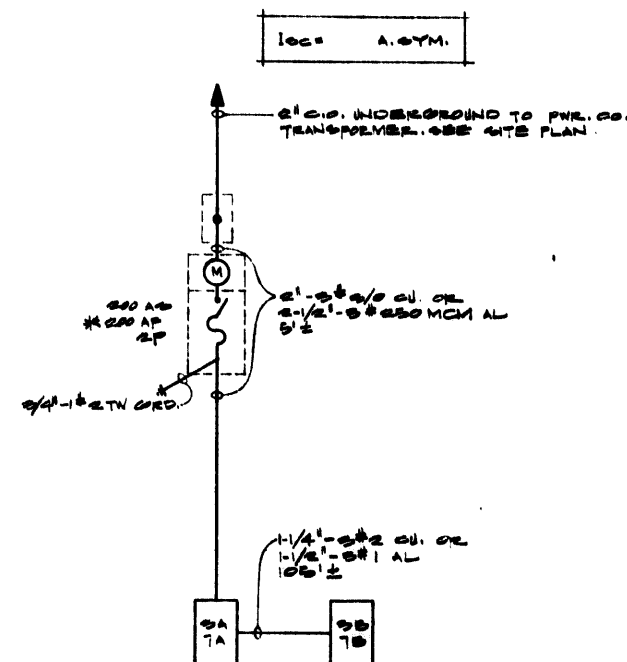
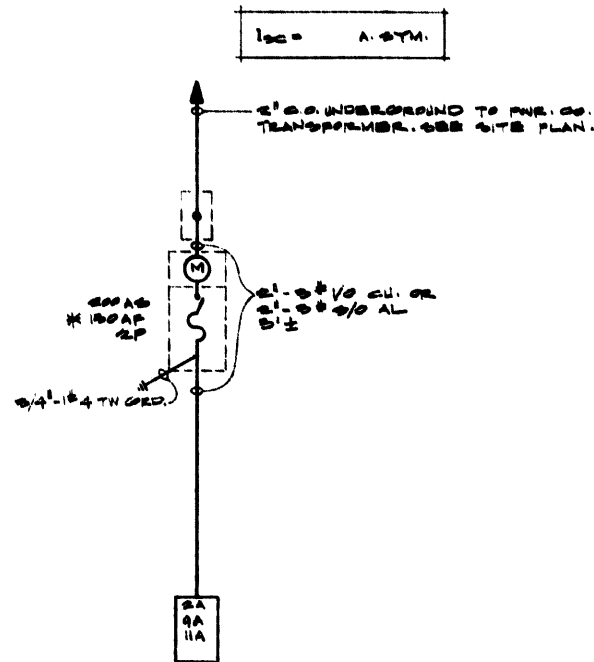
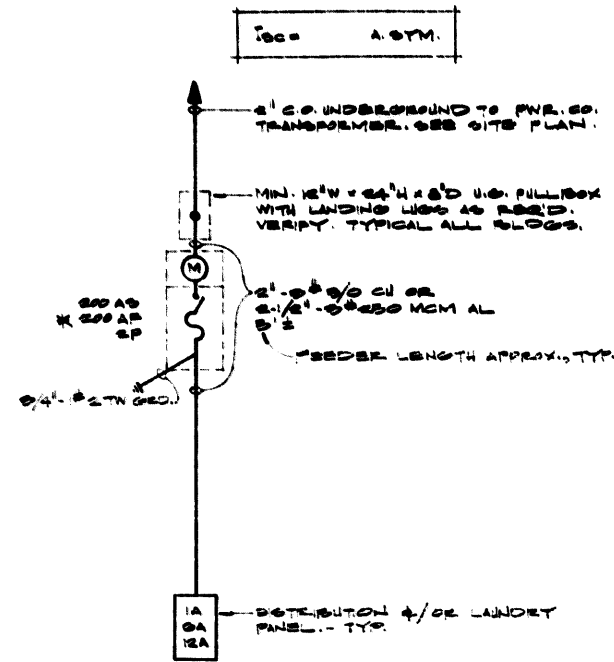
7014

REVISIONS

JOB NO.
 102 5-5 70
 DESIGNED
 R.A.R.
 DRAWN
 M.N.
 CHECKED
 V.A.D.
 APPROVED

SHEET

E-2



ELECTRICAL PANEL NOTES

- ALL APARTMENT PANELS TO BE 120/240V. 1Ø, 3Ø, MIN. 50A. BUSSING, FULL RATED NEUTRAL.
 - ALL LUG CONNECTIONS TO PANEL BUSSING, SWITCHES AND BREAKERS TO BE SIZED TO ACCOMMODATE CONDUCTORS AS SHOWN ON SINGLE LINE DIAGRAMS.
 - TIME CLOCK SETTINGS TO BE AS FOLLOWS:
(TYPICAL ALL PANEL SCHEDULES)
TIME CLOCK SETTING #1 (LATE) 6 PM TO 6 AM
TIME CLOCK SETTING #2 (EARLY) 6 PM TO 11 PM
- NOTE: TIME CLOCK NUMBERS INDICATE SETTINGS ONLY. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED NUMBER OF TIME CLOCKS NECESSARY FOR TIME CLOCK SETTINGS INDICATED. VERIFY ALL TIME CLOCK SETTINGS WITH OWNER'S REPRESENTATIVE. TIME CLOCKS TO BE MOUNTED NEAR PANELS IN W.P. ROOMS ENCLOSED.

FUSE TYPE SCHEDULE

- * CURRENT LIMITING, CLASS K-1, 200,000 A.I.C., BUSS LIMITRON TYPE "KTH".
- ** CURRENT LIMITING, CLASS L, 200,000 A.I.C., BUSS LIMITRON TYPE "KTU".

EDWARD C. BARKER
Architect AIA

P.O. BOX 1007
ORANGE CALIFORNIA 92667

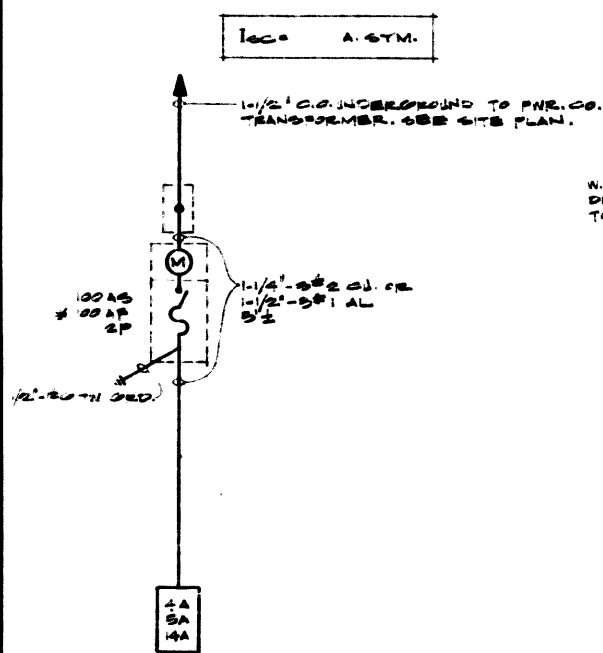
Edward C. Barker
TEXTTEL
INCORPORATED
AREA 714 661-0177

SHEET TITLE
SINGLE LINE
DIAGRAM

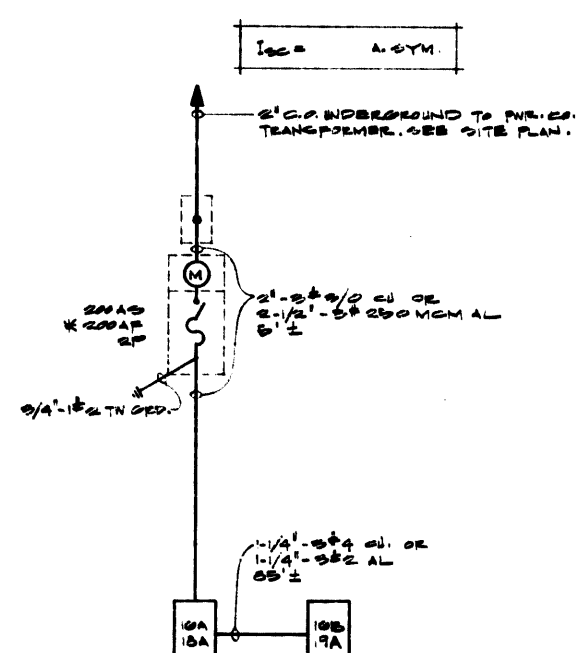
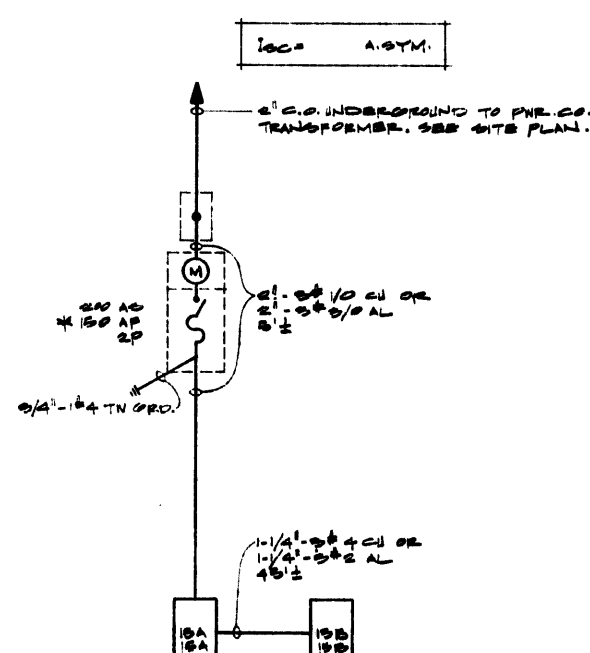
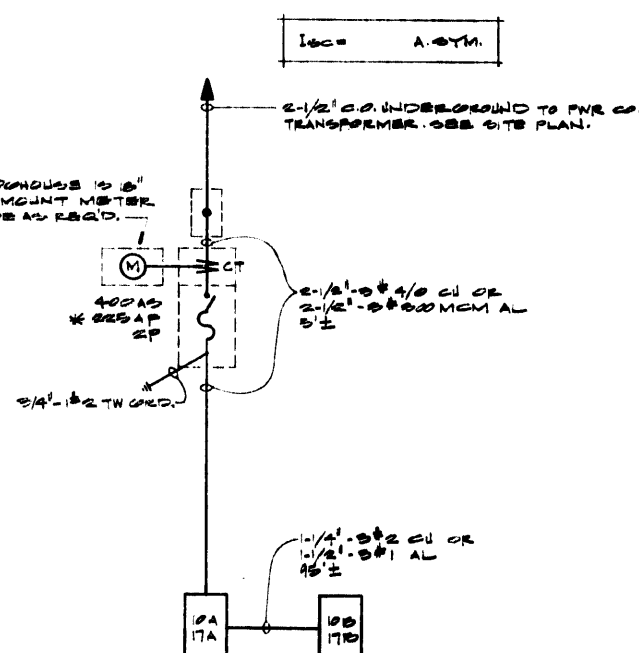
PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT
DITOMASO & ASSOCIATES INC.
CONSULTING ENGINEERS
7650 HASKELL AVENUE
VAN NUYS, CALIF. 91411
(213) 782-1255
(213) 782-7676
7014



N.P. DOWNHOLE IS 8"
DEEP. MOUNT METER
TO SIDE AS REQ'D.



TYP. FOR BLDG'S. 4, 5, 14

TYP. FOR BLDG'S. 10 & 17

TYP. FOR BLDG'S. 13 & 15

TYP. FOR BLDG'S. 16 & 18

120/240 V., 1Ø, 3Ø SINGLE LINE DIAGRAM

REVISIONS

JOB NO.
152 5-2-70

DESIGNED
R.A.R.

DRAWN
B.P.

CHECKED
V.A.D.

APPROVED

SHEET

E-3

OF 10

CALC. 1 - (2) TYPE "B" APTS.

2 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	4950 W.
4 APPL. CKTS. X 1500 W.	6000
	<u>10950 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 7950 W. X 35%	2785
2 G.D. X 100%	1400
2 H. X 100%	1000
	<u>8185 W.</u>

@ 240V., 1Ø = 34 A.

CALC. 2 - (4) TYPE "A" OR "B" APTS.

4 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	9900 W.
8 APPL. CKTS. X 1500 W.	12000
	<u>21900 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 18,900 W. X 35%	6515
4 G.D. X 75%	2100
4 H. X 100%	2000
	<u>13715 W.</u>

@ 240V., 1Ø = 58 A.

CALC. 3 - (2) APT. TYPE "B" & (2) TYPE "D" APTS.

2 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	4950 W.
2 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	6930
8 APPL. CKTS. X 1500 W.	12000
	<u>23880 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 20,880 W. X 35%	7310
4 G.D. X 75%	2100
4 H. X 100%	2000
	<u>14410 W.</u>

@ 240V., 1Ø = 60 A.

CALC. 4 - (6) TYPE "A" OR "B" APTS.

6 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	14850 W.
12 APPL. CKTS. X 1500 W.	18000
	<u>32850 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 29850 W. X 35%	10450
6 G.D. X 75%	3150
6 H. X 100%	3000
	<u>19600 W.</u>

@ 240V., 1Ø = 82A.

CALC. 5 - (8) TYPE "A" OR "B" APTS.

8 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	19800 W.
16 APPL. CKTS. X 1500 W.	24000
	<u>43800 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 40800 W. X 35%	14280
8 G.D. X 75%	4200
8 H. X 100%	4000
	<u>25480 W.</u>

@ 240V., 1Ø = 107A.

CALC. 6 - (4) TYPE "C" APTS.

4 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	13860 W.
8 APPL. CKTS. X 1500 W.	12000
	<u>25860 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 22860 W. X 35%	8000
4 G.D. X 75%	2100
4 H. X 100%	2000
	<u>15100 W.</u>

@ 240V., 1Ø = 63A.

CALC. 7 - (6) TYPE "C" OR "D" APTS.

6 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	30780 W.
12 APPL. CKTS. X 1500 W.	18000
	<u>48780 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 35790 W. X 35%	12530
6 G.D. X 75%	3150
6 H. X 100%	3000
	<u>21680 W.</u>

@ 240 V., 1Ø = 91A.

CALC. 8 - (8) TYPE "C" OR "D" APTS.

8 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	27720 W.
16 APPL. CKTS. X 1500 W.	24000
	<u>51720 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 48720 W. X 35%	17055
8 G.D. X 75%	4200
8 H. X 100%	4000
	<u>28255 W.</u>

@ 240V., 1Ø = 119A.

CALC. 9 - (12) TYPE "C" OR "D" APTS.

12 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	41580 W.
24 APPL. CKTS. X 1500 W.	36000
	<u>77580 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 74580 W. X 35%	26105
12 G.D. X 75%	6300
12 H. X 100%	6000
	<u>41405 W.</u>

@ 240 V., 1Ø = 172A.

CALC. 10 - (8) TYPE "A" OR "B" & (2) TYPE "C" APTS.

8 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	19800 W.
2 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	6930
20 APPL. CKTS. X 1500 W.	30000
	<u>56730 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 53730 W. X 35%	18805
10 G.D. X 75%	5850
10 H. X 100%	5000
	<u>32055 W.</u>

@ 240 V., 1Ø = 134 A.

CALC. 11 - (12) TYPE "A" & (2) TYPE "C" APTS.

12 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	29700 W.
2 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	6930
28 APPL. CKTS. X 1500 W.	42000
	<u>78630 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 25630 W. X 35%	26470
14 G.D. X 75%	7350
14 H. X 100%	7000
	<u>43820 W.</u>

@ 240V., 1Ø = 183A.

CALC. 12 - (2) TYPE "B" & (4) TYPE "C" APTS.

2 APTS. @ MAX. 825 SQ. FT. X 3M/SQ. FT.	4950 W.
4 APTS. @ MAX. 1155 SQ. FT. X 3M/SQ. FT.	13860
12 APPL. CKTS. X 1500 W.	18000
	<u>36810 W.</u>

1ST. 3000 W. X 100%	3000 W.
REN. 33810 W. X 35%	11835
6 G.D. X 75%	3150
6 H. X 100%	3000
	<u>20985 W.</u>

@ 240 V., 1Ø = 88A.

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1287
ORANGE CALIFORNIA 92668

Edward C. Barker
6-11

TEXTEL
INCORPORATED
AREA 716 561-6177

SHEET TITLE
CALCULATIONS &
SCHEDULES

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT
DITCHMAN & ASSOCIATES INC.
CONSULTING ENGINEERS
7658 HAZKELL AVENUE
VAN NUYS, CALIF. 91411
(213) 782-1255
(213) 873-7476

7014

REVISIONS

JOB NO.
152 5-2-70

DESIGNED
E.A.R.

DRAWN
M.N.

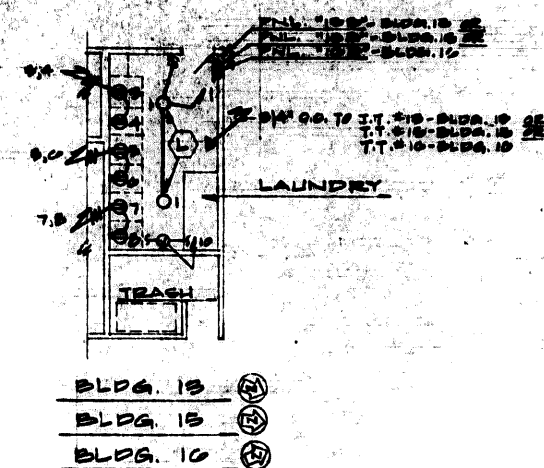
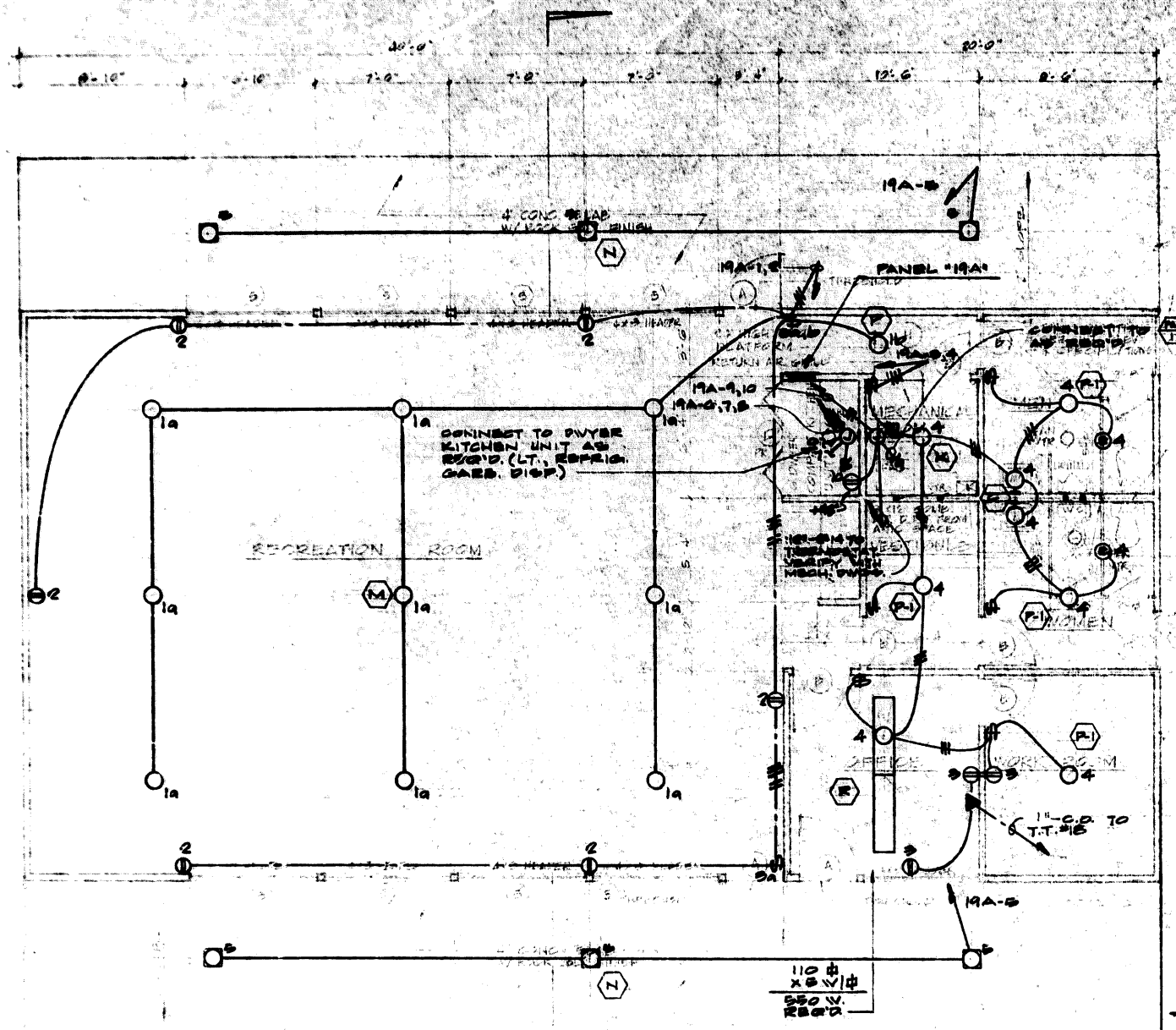
CHECKED
V.A.O.

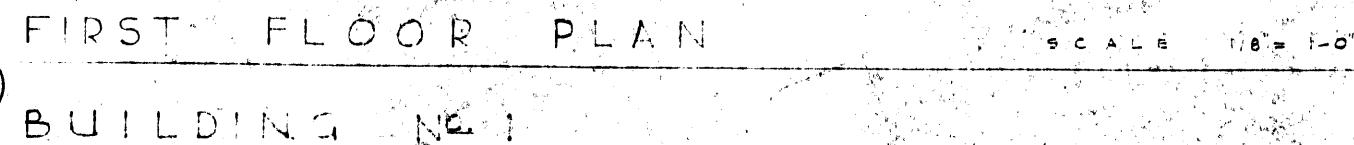
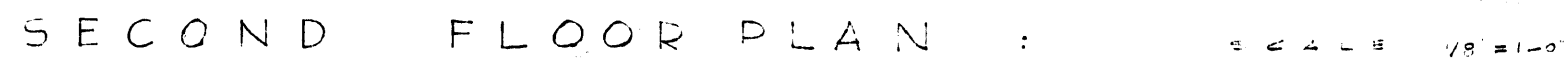
APPROVED

SHEET

E-4

39

[illegible]



1. ELECTRICAL DRAWINGS ARE TO BE USED FOR INSTALLATION OF ELECTRICAL EQUIPMENT AND SYSTEMS ONLY. DIMENSIONS AND LOCATIONS OF OTHER EQUIPMENT AND ITEMS SUCH AS PADS, ENCLOSURES, STRUCTURES, PANS, DUCTS, ETC., ARE SHOWN ON ARCHITECTURAL AND OTHER DRAWINGS.
2. ELECTRICAL CONTRACTOR TO VERIFY ALL DIMENSIONS.

14



— NOTE: THERE WILL BE A 6'.0" HIGH REDWOOD FENCE @ N, E & W PROP. LINES. S. WILL BE OPEN TO ST.

VERIFY FIXTURE MOUNTING HEIGHTS AND EXACT LOCATIONS
WITH LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
IN ALL BUILDING FLOODLIGHTS AS DIRECTED BY OWNER AND/OR
LANDSCAPE ARCHITECT.

1. ELECTRICAL DRAWINGS ARE TO BE USED FOR INSTALLATION OF ELECTRICAL EQUIPMENT AND SYSTEMS ONLY. DIMENSIONS AND LOCATIONS OF OTHER EQUIPMENT AND ITEMS SUCH AS PADS, ENCLOSURES, STRUCTURES, FANS, DUCTS, ETC., ARE SHOWN ON ARCHITECTURAL AND OTHER DRAWINGS.

2. ELECTRICAL CONTRACTOR TO VERIFY ALL DIMENSIONS.

۱۵۴

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1257
ORANGE, CALIFORNIA 92668

Edward C. Barker
TEXTTEL
INCORPORATED
AREA 714 861-8177

SHEET TITLE
1/4" SCALE
FLOOR PLANS

PROJECT
220 55th ROAD
APARTMENTS

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT
DITTMER & ASSOCIATES INC.
CONSULTING ENGINEERS
7658 HASKELL AVENUE
VAN NUYS, CALIF. 91406
(213) 782-1255
(213) 783-7676

7014

REVISIONS

JOB NO. 152 5-8-72

DESIGNED
R.A.R.

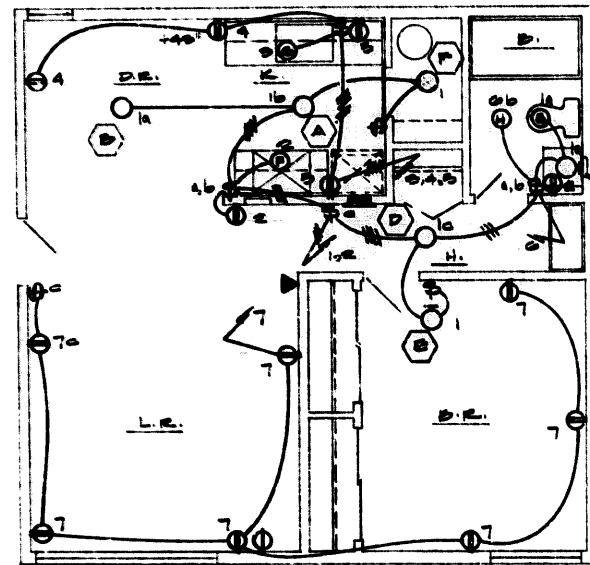
DRAWN
D.P.

CHECKED
V.A.D.

APPROVED

SHEET

E-8



VERIFY
MT.
FIXTURE TYPES SHOWN
ARE TYPICAL FOR
ALL APTS.

APT. TYPE **A**
ONE BEDROOM UNIT

SCALE: 1/4" = 1'-0"

NOTE:
STAGGER ALL OUTLET BOXES
IN BOUND WALL - TYPICAL
ALL UNITS.

PANEL SCHED. TYPE 'A'					
OUTLET	TYPE	WATTAGE			
NE	SW	LR	DR	BR	LR
1	15/1	2	2	-	-
2	15/1	2	2	-	-
3	15/1	2	2	700	-
4	15/1	2	2	-	-
5	15/1	2	2	-	-
6	15/1	2	2	-	500
7	15/1	7	-	-	-
8	15/1	2	-	-	-
TOTAL 500 500 500					

CALC. "A"

MAX. 825 SQ. FT. X 3W/SQ. FT. 2475 W.
2 APPL. CKTS. X 1500W. 3000
5475 W.

1ST. 3000W. X 100% 3000 W.
REM. 2475W. X 35% 870
G.D. X 100% 700
B.H. X 100% 500
5070 W.

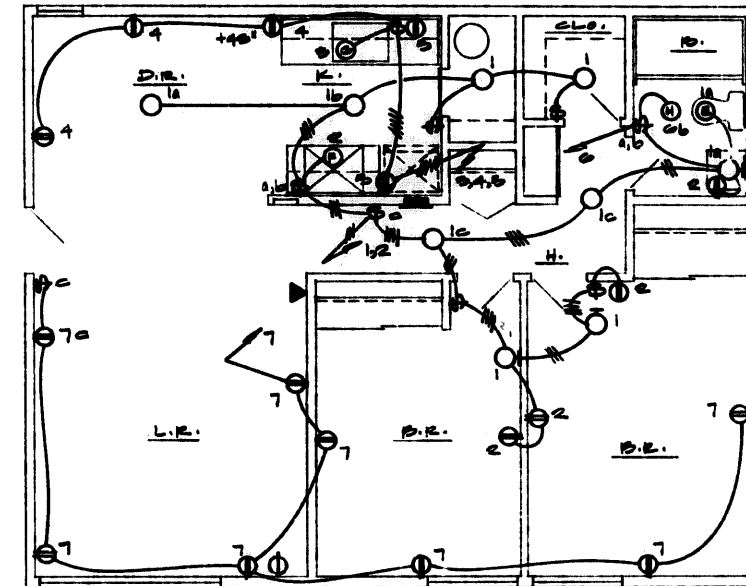
@ 240V., 1φ = 21.2A.

THE FOLLOWING APTS. ARE TYPICAL
FOR APT. TYPE "A".

4-2, 4-4, 15-2, 15-4, 17-2, 17-3
17-4, 17-11, 17-12, 17-13

THE FOLLOWING APTS. ARE TYPICAL FOR APT. TYPE "A"
EXCEPT OPPOSITE HAND.

4-1, 4-3, 15-1, 15-3, 17-1, 17-5, 17-6,
17-10, 17-5, 17-12



APT. TYPE **B**
TWO BEDROOM UNIT

SCALE: 1/4" = 1'-0"

PANEL SCHED. TYPE 'B'					
OUTLET	TYPE	WATTAGE			
NE	SW	LR	DR	BR	LR
1	15/1	4	2	-	-
2	15/1	4	2	-	-
3	15/1	4	2	700	-
4	15/1	4	2	-	-
5	15/1	4	2	-	-
6	15/1	4	2	-	500
7	15/1	4	2	-	-
8	15/1	4	2	-	-
TOTAL 500 500 500					

CALC. "B"

MAX. 825 SQ. FT. X 3W/SQ. FT. 2475 W.
2 APPL. CKTS. X 1500W. 3000
5475 W.

1ST. 3000W. X 100% 3000 W.
REM. 2475W. X 35% 870
G.D. X 100% 700
B.H. X 100% 500
5070 W.

@ 240V., 1φ = 21.2A.

THE FOLLOWING APTS. ARE TYPICAL
FOR APT. TYPE "B".

1-3, 1-8, 1-10, 1-5, 3-2, 3-6, 3-4, 3-8,
5-2, 5-4, 7-2, 7-6, 7-4, 7-8
11-1, 11-4, 14-2, 14-4, 16-2, 16-6, 16-4, 16-8

THE FOLLOWING APTS ARE TYPICAL FOR APT. TYPE "B"
EXCEPT OPPOSITE HAND.

1-2, 1-7, 1-4, 1-9, 3-1, 3-5, 3-3, 3-7
5-1, 5-3, 7-1, 7-5, 7-3, 7-7, 13-1, 13-3, 14-1, 14-3
16-1, 16-5, 16-3, 16-7

NOTES

- ELECTRICAL DRAWINGS ARE TO BE USED FOR INSTALLATION OF ELECTRICAL EQUIPMENT AND SYSTEMS ONLY. DIMENSIONS AND LOCATIONS OF OTHER EQUIPMENT AND ITEMS SUCH AS RADS, ENCLOSURES, STRUCTURES, FANS, DUCTS, ETC., ARE SHOWN ON ARCHITECTURAL AND OTHER DRAWINGS.
- ELECTRICAL CONTRACTOR TO VERIFY ALL DIMENSIONS.

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1267
ORANGE, CALIFORNIA 92668

Edward C. Barker

TEXTEL
INCORPORATED
AREA 714 941-6177

SHEET TITLE
1/4" SCALE
FLOOR PLANS

PROJECT
1155 SQ. FT. X 3M/SQ. FT.
2 APPL. CKTS. X 1500W.

LOCATION
SAN LUIS
OBISPO, CALIF.

CONSULTANT
DITOMACE & ASSOCIATES INC.
CONSULTING ENGINEERS
7655 HICKELL AVENUE
SAN LUIS, CALIF. 91406
(213) 782-1753
(213) 673-7676

7014

REVISIONS

JOB NO. 152 5-9-70

DESIGNED
E.A.R.

DRAWN
M.N.

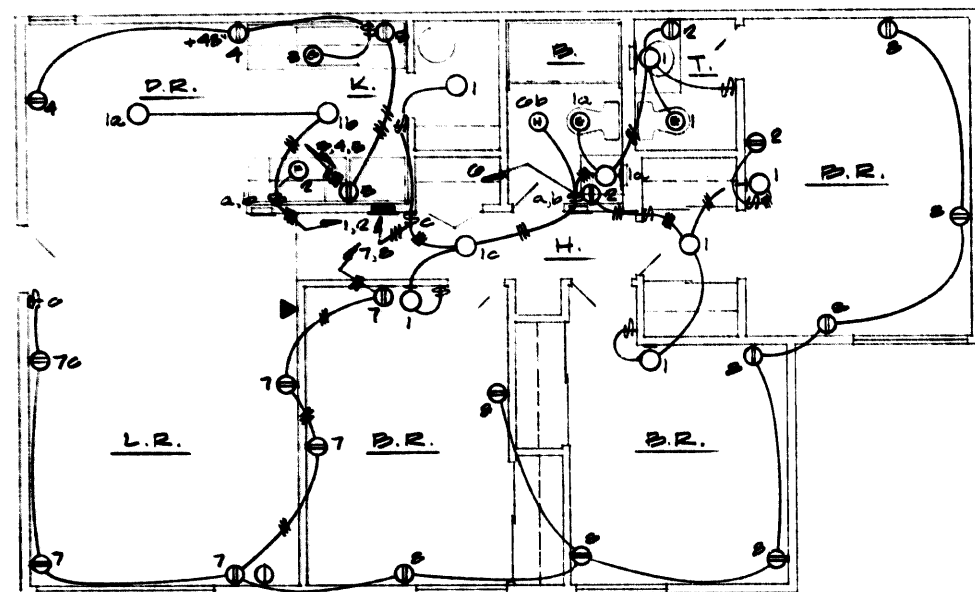
CHECKED
V.A.D.

APPROVED

SHEET

E-9

OF 10



APT. TYPE **(C)**
THREE BEDROOM UNIT

SCALE: 1/4" = 1'-0"

PANEL SCHED TYPE "C"					
CKT	OUT.	OUTLTS	WATTAGE		
N	BR	L	R	O	L1 L2
1	24/1	10	25	-	-
2	24/1	7	25	-	-
3	24/1	7	25	-	-
4	24/1	2	25	700	-
5	24/1	2	25	-	-
6	24/1	2	25	-	-
7	24/1	0	H.	-	500
8	24/1	0	-	-	-
TOTAL					988 CALC

CALC. "C"
MAX. 1155 SQ. FT. X 3M/SQ. FT. 3465 W.
2 APPL. CKTS. X 1500W. 3000
6465 W.

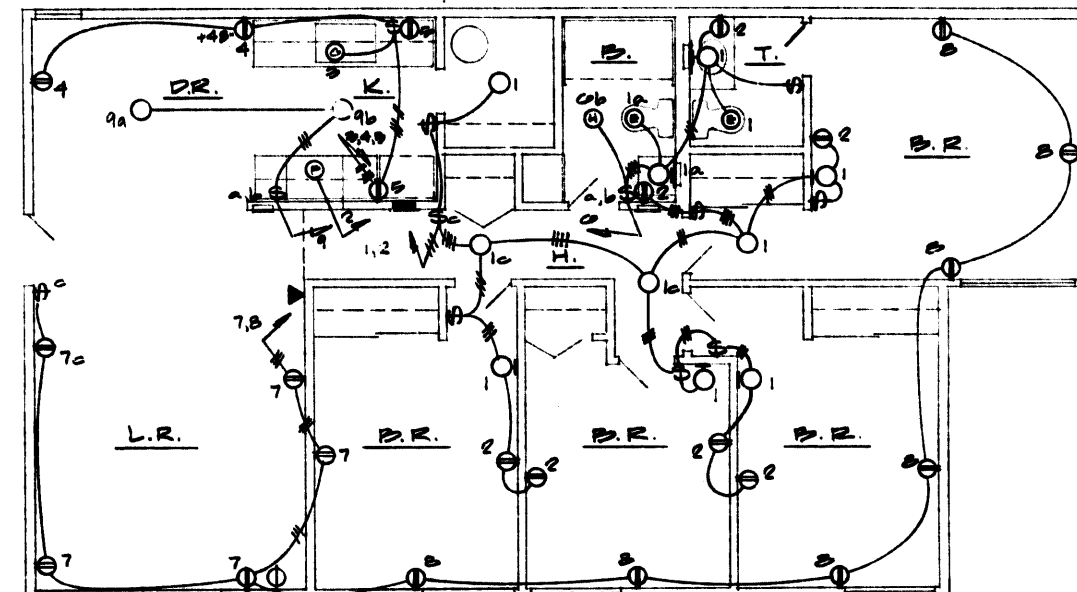
1ST. 3000W. X 100% 3000 W.
REM. 3465 W. X 35% 1213
G.D. X 100% 700
B.H. X 100% 500
5413 W.
@ 240V, 1Φ = 22.6 A.

THE FOLLOWING APTS. ARE TYPICAL
FOR APT. TYPE "C"

1-1, 1-16, 2-2, 2-5, 6-1, 6-5,
9-3, 9-6, 10-2, 10-8, 10-6, 10-12, 11-3, 11-6,
12-3, 12-7, 18-1, 18-4, 18-3, 18-6

THE FOLLOWING APTS. ARE TYPICAL FOR APT. TYPE "C"
EXCEPT OPPOSITE HAND

2-1, 2-4, 2-3, 2-6, 9-2, 10-1, 10-7, 10-5, 10-11,
11-2, 11-5, 12-4, 12-8, 17-7, 17-14, 18-2, 18-5
6-2, 6-4



APT. TYPE **(D)**
FOUR BEDROOM UNIT

SCALE: 1/4" = 1'-0"

PANEL SCHED TYPE "D"					
CKT	OUT.	OUTLTS	WATTAGE		
N	BR	L	R	O	L1 L2
1	24/1	10	25	-	-
2	24/1	7	25	-	-
3	24/1	7	25	700	-
4	24/1	2	25	-	-
5	24/1	2	25	-	-
6	24/1	0	H.	-	500
7	24/1	0	-	-	-
8	24/1	7	-	-	-
9	24/1	2	-	-	-
10	-11	SPACE	-	-	-
TOTAL					988 CALC

CALC. "D"
MAX. 1155 SQ. FT. X 3M/SQ. FT. 3465 W.
2 APPL. CKTS. X 1500W. 3000
6465 W.

1ST. 3000W. X 100% 3000 W.
REM. 3465 W. X 35% 1213
G.D. X 100% 700
B.H. X 100% 500
5413 W.

@ 240V, 1Φ = 22.6 A.

THE FOLLOWING APTS. ARE TYPICAL
FOR APT. TYPE "D"

6-3, 6-7, 9-1, 9-4, 10-4, 10-10
12-1, 12-5, 13-2, 13-4

THE FOLLOWING APTS. ARE TYPICAL FOR APT. TYPE "D"
EXCEPT OPPOSITE HAND

6-4, 6-6, 10-3, 10-9, 12-2, 12-6

NOTES

- ELECTRICAL DRAWINGS ARE TO BE USED FOR INSTALLATION OF ELECTRICAL EQUIPMENT AND SYSTEMS ONLY. DIMENSIONS AND LOCATIONS OF OTHER EQUIPMENT AND ITEMS SUCH AS FANS, ENCLOSURES, STRUCTURES, FANS, DUCTS, ETC., ARE SHOWN ON ARCHITECTURAL AND OTHER DRAWINGS.
- ELECTRICAL CONTRACTOR TO VERIFY ALL DIMENSIONS.

PANEL "78"									
100 AMPERE BUSSING									
120/240V, 1Ø, 3W, S/N									
NO MAIN BREAKER									
LOCKOUT #	TIME CLOCK #	CRY. BREAKER	NO.	A	P	L	R	OUTLETS	REMARKS
1	20	1	10					OTHER	LATE
2	20	1	10					OTHER	LATE
3	20	1	10					OTHER	SPARE
4	20	1	10					OTHER	T.V. AMPL.
5	20	1	10					OTHER	SPACE
6	20	1	10					OTHER	SPACE
7	20	1	10					OTHER	SPACE
8	20	1	10					OTHER	SPACE
9	20	1	10					OTHER	SPACE
10	20	1	10					OTHER	APT. PNL. 6-1
11	20	1	10					OTHER	APT. PNL. 6-2
12	20	1	10					OTHER	APT. PNL. 6-3
13	20	1	10					OTHER	APT. PNL. 6-4
14	20	1	10					OTHER	APT. PNL. 6-5
15	20	1	10					OTHER	APT. PNL. 6-6
16	20	1	10					OTHER	APT. PNL. 6-7
17	20	1	10					OTHER	APT. PNL. 6-8
18	20	1	10					OTHER	
19	20	1	10					OTHER	
20	20	1	10					OTHER	
21	20	1	10					OTHER	
22	20	1	10					OTHER	
23	20	1	10					OTHER	
24	20	1	10					OTHER	
25	20	1	10					OTHER	
26	20	1	10					OTHER	
27	20	1	10					OTHER	
28	20	1	10					OTHER	
29	20	1	10					OTHER	
30	20	1	10					OTHER	
31	20	1	10					OTHER	
32	20	1	10					OTHER	
33	20	1	10					OTHER	
34	20	1	10					OTHER	
35	20	1	10					OTHER	
36	20	1	10					OTHER	
37	20	1	10					OTHER	
38	20	1	10					OTHER	
39	20	1	10					OTHER	
40	20	1	10					OTHER	
41	20	1	10					OTHER	
42	20	1	10					OTHER	
DEMAND									
NON LCL									
LCL									
25% LCL									
TOTAL									
APR. LOAD - SEE CALC. 8									

PANEL "78"									
100 AMPERE BUSSING									
120/240V, 1Ø, 3W, S/N									
NO MAIN BREAKER									
LOCKOUT #	TIME CLOCK #	CRY. BREAKER	NO.	A	P	L	R	OUTLETS	REMARKS
1	20	1	10					OTHER	LAUNDRY, MTRY.
2	20	1	10					OTHER	LAUNDRY, MTRY.
3	20	1	10					OTHER	WASHER
4	20	1	10					OTHER	WASHER
5	20	1	10					OTHER	WASHER
6	20	1	10					OTHER	WASHER
7	20	1	10					OTHER	WASHER
8	20	1	10					OTHER	WASHER
9	20	1	10					OTHER	WASHER
10	20	1	10					OTHER	WASHER
11	20	1	10					OTHER	WASHER
12	20	1	10					OTHER	WASHER
13	20	1	10					OTHER	WASHER
14	20	1	10					OTHER	WASHER
15	20	1	10					OTHER	WASHER
16	20	1	10					OTHER	WASHER
17	20	1	10					OTHER	WASHER
18	20	1	10					OTHER	WASHER
19	20	1	10					OTHER	WASHER
20	20	1	10					OTHER	WASHER
21	20	1	10					OTHER	WASHER
22	20	1	10					OTHER	WASHER
23	20	1	10					OTHER	WASHER
24	20	1	10					OTHER	WASHER
25	20	1	10					OTHER	WASHER
26	20	1	10					OTHER	WASHER
27	20	1	10					OTHER	WASHER
28	20	1	10					OTHER	WASHER
29	20	1	10					OTHER	WASHER
30	20	1	10					OTHER	WASHER
31	20	1	10					OTHER	WASHER
32	20	1	10					OTHER	WASHER
33	20	1	10					OTHER	WASHER
34	20	1	10					OTHER	WASHER
35	20	1	10					OTHER	WASHER
36	20	1	10					OTHER	WASHER
37	20	1	10					OTHER	WASHER
38	20	1	10					OTHER	WASHER
39	20	1	10					OTHER	WASHER
40	20	1	10					OTHER	WASHER
41	20	1	10					OTHER	WASHER
42	20	1	10					OTHER	WASHER
DEMAND									
NON LCL									
LCL									
25% LCL									
TOTAL									
APR. LOAD - SEE CALC. 1									

PANEL "10A"									
225 AMPERE BUSSING									
120/240V, 1Ø, 3W, S/N									
NO MAIN BREAKER									
LOCKOUT #	TIME CLOCK #	CRY. BREAKER	NO.	A	P	L	R	OUTLETS	REMARKS
1	20	1	10					OTHER	LATE
2	20	1	10					OTHER	LATE
3	20	1	10					OTHER	SPARE
4	20	1	10					OTHER	T.V. AMPL.
5	20	1	10					OTHER	SPACE
6	20	1	10					OTHER	SPACE
7	20	1	10					OTHER	SPACE
8	20	1	10					OTHER	SPACE
9	20	1	10					OTHER	SPACE
10	20	1	10					OTHER	SPACE
11	20	1	10					OTHER	APT. PNL. 10-1
12	20	1	10					OTHER	APT. PNL. 10-2
13	20	1	10					OTHER	APT. PNL. 10-3
14	20	1	10					OTHER	APT. PNL. 10-4
15	20	1	10					OTHER	APT. PNL. 10-5
16	20	1	10					OTHER	APT. PNL. 10-6
17	20	1	10					OTHER	APT. PNL. 10-7
18	20	1	10					OTHER	APT. PNL. 10-8
19	20	1	10					OTHER	APT. PNL. 10-9
20	20	1	10					OTHER	APT. PNL. 10-10
21	20	1	10					OTHER	APT. PNL. 10-11
22	20	1	10					OTHER	APT. PNL. 10-12
23	20	1	10					OTHER	APT. PNL. 10-13
24	20	1	10					OTHER	APT. PNL. 10-14
25	20	1	10					OTHER	APT. PNL. 10-15
26	20	1	10					OTHER	APT. PNL. 10-16
27	20	1	10					OTHER	APT. PNL. 10-17
28	20	1	10					OTHER	APT. PNL. 10-18
29	20	1	10					OTHER	APT. PNL. 10-19
30	20	1	10					OTHER	APT. PNL. 10-20
31	20	1	10					OTHER	APT. PNL. 10-21
32	20	1	10					OTHER	APT. PNL. 10-22
33	20	1	10					OTHER	APT. PNL. 10-23
34	20	1	10					OTHER	APT. PNL. 10-24
35	20	1	10					OTHER	APT. PNL. 10-25
36	20	1	10					OTHER	APT. PNL. 10-26
37	20	1	10					OTHER	APT. PNL. 10-27
38	20	1	10					OTHER	APT. PNL. 10-28
39	20	1	10					OTHER	APT. PNL. 10-29
40	20	1	10					OTHER	APT. PNL. 10-30
41	20	1	10					OTHER	APT. PNL. 10-31
42	20	1	10					OTHER	APT. PNL. 10-32
DEMAND									
NON LCL									
LCL									
25% LCL									
TOTAL									
APR. LOAD - SEE CALC. 9									

PANEL 7A										170/240V, 1Ø, 3W, S/N						
100 AMPERE BUSSING										NO MAIN BREAKER						
LOCKOUT #	TIME	CLOCK #	CRY. BREAKER				OUTLETS				REMARKS		LOAD (WATTS)			
			NO.	A	P	L	R	OTHER				Ø A	Ø B	Ø C		
1	20	1	10							LATE		1250	1900			
2	20	1	10							LATE						
3	20	1	10							SPARE						
4	20	1	10				1			F.V. AMPL.			180			
5	-	1								SPACE						
6	-	1								SPACE						
7	-	1								SPACE						
8	-	1								SPACE						
9	30	2						APT. PNL. 7-1		3/4" - 3 #10 55"	-	-	-	-		
10	30	2						APT. PNL. 7-2		3/4" - 3 #10 86"	-	-	-	-		
11	30	2						APT. PNL. 7-3		3/4" - 3 #10 20"	-	-	-	-		
12	30	2						APT. PNL. 7-6		3/4" - 3 #10 30"	-	-	-	-		
13	30	2						APT. PNL. 7-5		3/4" - 3 #10 40"	-	-	-	-		
14	30	2						APT. PNL. 7-7		3/4" - 3 #10 50"	-	-	-	-		
15	30	2						PANEL "7B"			-	SEE	"7B"			
16	-	2								SPACE						
17																
18																
19																
20																
21																
22																
23																
24																
25																
26																
27																
28																
29																
30																
31																
32																
33																
34																
35																
36																
37																
38																
39																
40																
41																
42																
DEMAND										SPARE NON LCL		400	400			
NON LCL										SPARE LCL		700	800			
25% LCL										SUB-TOTALS		2350	2380			
TOTALS																
3670 W.																

PANEL "11A"														
120/240V, 1Ø, 3W, S/N														
150 AMPERE BUSSING														
NO MAIN BREAKER														
LOCKOUT #	TIME	CLOCK	CIRCUIT BREAKER				OUTLETS	REMARKS	LOAD (WATTS)					
			A	P	L	R			A	P	L	R		
1	20	1	1						LATE					
	20	1	2						LATE					
	20	1	3						SPARE			1200		
	20	1	4				1		T.V. AMPL.				180	
	-	1	5						SPACE					
	-	1	6						SPACE					
	-	1	7						SPACE					
	-	1	8						SPACE					
	10	2	9					APT. PNL. 11-1	3/4" - 3 #10	350	-	-	-	-
	30	2	10					APT. PNL. 11-2	3/4" - 3 #10	450	-	-	-	-
50	2	11					APT. PNL. 11-3	3/4" - 3 #10	250	-	-	-	-	
70	2	12					APT. PNL. 11-4	3/4" - 3 #10	350	-	-	-	-	
90	2	13					APT. PNL. 11-5	3/4" - 3 #10	700	-	-	-	-	
110	2	14					APT. PNL. 11-6	3/4" - 3 #10	800	-	-	-	-	
130														
150														
170														
190														
210														
230														
250														
270														
290														
310														
330														
350														
370														
390														
410														
430														
450														
470														
490														
510														
530														
550														
570														
590														
610														
630														
650														
670														
690														
710														
730														
750														
770														
790														
810														
830														
850														
870														
890														
910														
930														
950														
970														
990														
1010														
1030														
1050														
1070														
1090														
1110														
1130														
1150														
1170														
1190														
1210														
1230														
1250														
1270														
1290														
1310														
1330														
1350														
1370														
1390														
1410														
1430														
1450														
1470														
1490														
1510														
1530														
1550														
1570														
1590														
1610														
1630														
1650														
1670														
1690														
1710														
1730														
1750														
1770														
1790														
1810														
1830														
1850														
1870														
1890														
1910														
1930														
1950														
1970														
1990														
2010														
2030														
2050														
2070														
2090														
2110														
2130														
2150														
2170														
2190														
2210														
2230														
2250														
2270														
2290														
2310														
2330														
2350														
2370														
2390														
2410														
2430														
2450														
2470														
2490														
2510														
2530														
2550														
2570														
2590														
2610														
2630														
2650														
2670														
2690														
2710														
2730														
2750														
2770														
2790														
2810														
2830														
2850														
2870														
2890														
2910														
2930														
2950														
2970														
2990														
3010														
3030														
3050														
3070														
3090														
3110														
3130														
3150														
3170														
3190														
3210														
3230														
3250														
3270														
3290														
3310														
3330														
3350														
3370														

PANEL "15B"									
120/240V, 1Ø, 3W, 5/N									
100 AMPERE BUSSING									
NO MAIN BREAKER									
LOCKOUT #	TIME	CLOCK	CIRCUIT BREAKER			REMARKS	LOAD (WATTS)		
			NO.	A	B		SA	SB	SC
1	20	1	1	1	1	LAUNDRY	300		
2	20	1	2	1	1	SPARE			
3	20	1	3	1	1	WASHER	1500		
4	20	1	4	1	1	WASHER		1500	
5	20	1	5	1	1	WASHER	1500		
6	20	1	6	1	1	WASHER		1500	
7	20	1	7	1	1	DRYER-GAS	1000		
8	20	1	8	1	1	DRYER-GAS		1000	
9	20	1	9	1	1	SPARE			
10	20	1	10	1	1	WTR - GAS FIRED			
11	20	1	11	1	1	LAUNDRY		530	
12	20	1	12	1	1	J-BOX			
13	20	1	13	1	1	E-FILE CONTROL	300		
14	20	1	14	1	1	SPACE			
15	20	1	15	1	1				
16	20	1	16	1	1				
17	20	1	17	1	1				
18	20	1	18	1	1				
19	20	1	19	1	1				
20	20	1	20	1	1				
21	20	1	21	1	1				
22	20	1	22	1	1				
23	20	1	23	1	1				
24	20	1	24	1	1				
25	20	1	25	1	1				
26	20	1	26	1	1				
27	20	1	27	1	1				
28	20	1	28	1	1				
29	20	1	29	1	1				
30	20	1	30	1	1				
31	20	1	31	1	1				
32	20	1	32	1	1				
33	20	1	33	1	1				
34	20	1	34	1	1				
35	20	1	35	1	1				
36	20	1	36	1	1				
37	20	1	37	1	1				
38	20	1	38	1	1				
39	20	1	39	1	1				
40	20	1	40	1	1				
41	20	1	41	1	1				
42	20	1	42	1	1				
43	20	1	43	1	1				
44	20	1	44	1	1				
45	20	1	45	1	1				
46	20	1	46	1	1				
47	20	1	47	1	1				
48	20	1	48	1	1				
49	20	1	49	1	1				
50	20	1	50	1	1				
51	20	1	51	1	1				
52	20	1	52	1	1				
53	20	1	53	1	1				
54	20	1	54	1	1				
55	20	1	55	1	1				
56	20	1	56	1	1				
57	20	1	57	1	1				
58	20	1	58	1	1				
59	20	1	59	1	1				
60	20	1	60	1	1				
61	20	1	61	1	1				
62	20	1	62	1	1				
63	20	1	63	1	1				
64	20	1	64	1	1				
65	20	1	65	1	1				
66	20	1	66	1	1				
67	20	1	67	1	1				
68	20	1	68	1	1				
69	20	1	69	1	1				
70	20	1	70	1	1				
71	20	1	71	1	1				
72	20	1	72	1	1				
73	20	1	73	1	1				
74	20	1	74	1	1				
75	20	1	75	1	1				
76	20	1	76	1	1				
77	20	1	77	1	1				
78	20	1	78	1	1				
79	20	1	79	1	1				
80	20	1	80	1	1				
81	20	1	81	1	1				
82	20	1	82	1	1				
83	20	1	83	1	1				
84	20	1	84	1	1				
85	20	1	85	1	1				
86	20	1	86	1	1				
87	20	1	87	1	1				
88	20	1	88	1	1				
89	20	1	89	1	1				
90	20	1	90	1	1				
91	20	1	91	1	1				
92	20	1	92	1	1				
93	20	1	93	1	1				
94	20	1	94	1	1				
95	20	1	95	1	1				
96	20	1	96	1	1				
97	20	1	97	1	1				
98	20	1	98	1	1				
99	20	1	99	1	1				
100	20	1	100	1	1				
101	20	1	101	1	1				
102	20	1	102	1	1				
103	20	1	103	1	1				
104	20	1	104	1	1				
105	20	1	105	1	1				
106	20	1	106	1	1				
107	20	1	107	1	1				
108	20	1	108	1	1				
109	20	1	109	1	1				
110	20	1	110	1	1				
111	20	1	111	1	1				
112	20	1	112	1	1				
113	20	1	113	1	1				
114	20	1	114	1	1				
115	20	1	115	1	1				
116	20	1	116	1	1				
117	20	1	117	1	1				
118	20	1	118	1	1				
119	20	1	119	1	1				
120	20	1	120	1	1				
121	20	1	121	1	1				
122	20	1	122	1	1				
123	20	1	123	1	1				
124	20	1	124	1	1				
125	20	1	125	1	1				
126	20	1	126	1	1				
127	20	1	127	1	1				
128	20	1	128	1	1				
129	20	1	129	1	1				
130	20	1	130	1	1				
131	20	1	131	1	1				
132	20	1	132	1	1				
133	20	1	133	1	1				
134	20	1	134	1	1				
135	20	1	135	1	1				
136	20	1	136	1	1				
137	20	1	137	1	1				
138	20	1	138	1	1				
139	20	1	139	1	1				
140	20	1	140	1	1				
141	20	1	141	1	1				
142	20	1	142	1	1				
143	20	1	143	1	1				
144	20	1	144	1	1				
145	20	1	145	1	1				
146	20	1	146	1	1				
147	20	1	147	1	1				
148	20	1	148	1	1				
149	20	1	149	1	1				
150	20	1	150	1	1				
151	20	1	151	1	1				
152	20	1	152	1	1				
153	20	1	153	1	1				
154	20	1	154	1	1				
155	20	1	155	1	1				
156	20	1	156	1	1				
157	20	1	157	1	1				
158	20	1	158	1	1				
159	20	1	159	1	1				
160	20	1	160	1	1				
161	20	1	161	1	1				
162	20	1	162	1	1				
163	20	1	163	1	1				
164	20	1	164	1	1				
165	20	1	165	1	1				
166	20	1	166	1	1				
167	20	1	167	1	1				
168	20	1	168	1	1				
169	20	1	169	1	1				
170	20	1	170	1	1				
171	20	1	171	1	1				
172	20	1	172	1	1				
173	20	1	173	1	1				
174	20	1	174	1	1				
175	20	1	175	1	1				
176	20	1	176	1	1				
177	20	1	177	1	1				
178	20	1	178	1	1				
179	20	1	179	1	1				
180	20	1	180	1	1				
181	20	1	181	1	1				
182	20	1	182	1	1				
183	20	1	183	1	1				
184	20	1	184	1	1				
185	20	1	185	1	1				
186	20	1	186	1	1				
187	20	1	187	1	1				
188	20	1	188	1	1				
189	20	1	189	1	1				
190	20	1	190	1	1				
191	20	1	191	1	1				
192	20	1	192	1	1				
193	20	1	193	1	1				
194	20	1	194						

ROYAL WAY

**SOUTHERN CALIFORNIA GAS COMPANY
OF CALIFORNIA**

THE MEDIUM PRESSURE PIPING SYSTEM ON THIS DRAWING HAS BEEN REVIEWED BY THE SOUTHERN CALIFORNIA GAS CO. SUGGESTED PIPE SIZES ARE SHOWN AT 250 PSI INITIAL PRESSURE AND 15 PSI TERMINAL PRESSURE. THE PIPING SYSTEM IS SUBJECT TO APPROVAL BY THE LOCAL BUILDING AUTHORITY.

REVIEWED BY: _____
DISTRIBUTION SUPERVISOR: _____
DATE: _____

**MEDIUM PRESSURE GAS PIPING
SPECIFICATIONS**

1. MEDIUM PRESSURE PIPING AND REGULATOR RISERS MUST BE INSTALLED IN ACCESSIBLE LOCATION.
2. EACH RISER MUST BE PROVIDED WITH A STOP COCK WHICH SHALL MEET THE REQUIREMENTS OF A.C.A. SPECIFICATIONS.
3. ALL PIPE SHALL BE WRAPPED BLACK STEEL WITH WELDED OR SWEDED PIPE JOINTS. APPROVED UNDERGROUND ELASTIC TAPE, PIPELINE SHALL BE LAID TO MEET THE REQUIREMENTS SET FORTH IN THE SAN DIEGO CITY BUILDING AND PLUMBING CODE. STOP COCKS SHALL BE INSTALLED ON RISER STUDS DURING TEST. STOP COCKS SHOULD NOT BE SUBJECT TO TEST PRESSURE.
4. IF REGULATORS ARE INSTALLED IN VAULTS A VENT LINE WITH UMBRELLA CAP MUST BE INSTALLED FROM THE DIAPHRAM CHAMBER TO ABOVE THE FINISHED GRADE. ALL VENTS ABOVE OR BELOW GROUND SHOULD BE PROTECTED FROM ENTRY OF WATER INTO THE DIAPHRAM CASE.
5. SYSTEM DESIGN IS BASED ON A SPI-1 TO 1/2 PSI. DESIGN USING THE UNIT LOADS SHOWN ON PLAN BELOW IN ACCORDANCE WITH STANDARD DESIGN PROCEDURES OF THE SOUTHERN CALIFORNIA GAS COMPANY, POLYLO COMPUTER.

NOTE:

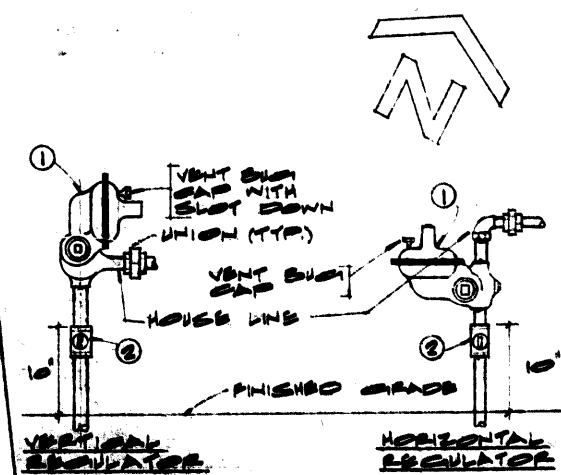
IT IS REQUESTED THAT THE SYSTEM BE PRESURIZED AT 150 PSI ON THE SCHEDULED TURN DATE TO AVOID ANY LEAKS DUE TO UNDERSEALING. THE COMPANY WILL INSPECT THE UNDERGROUND PIPING AND REGULATOR RISERS DURING INSTALLATION TO CHECK CONFORMANCE WITH ABOVE SPECIFICATIONS FOR PIPE COATING AND MATERIAL.

NOTES:

1. SEE SHEET P-2 FOR LEGENDES, SCHEDULES AND SYMBOLS.
2. CONTRACTOR TO PROVIDE A TWO (2) INCH DIAMETER HEAVY BRASS DISC FOR EACH GAS COCK OUTSIDE BUILDING WITH 1/4" HIGH LETTERED DESIGNATION "GAS SHUT-OFF" DISC SHALL BE FASTENED IN PLACE BY A 1/8" CONTINUOUS STEEL RING AROUND THE STEM OF VALVE AND AROUND THE PIPE AT THE GAS COCK.

GAS PIPING PLAN

SCALE: 1" = 30'



TYPICAL RISER INSTALLATION

1. APPROVED HOUSE TYPE REGULATOR SPRING RANGE 5' TO 6' N.G.
2. SERVICE COCK A.C.A. APPROVED.
3. MINIMUM PIPE SIZE 3/4"

REGULATOR SCHEDULE

ALL REG. 3/4" ROUNDED TYPE 'K' 30' SPRING, SPEC. NO. 10017 P-1

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE CALIFORNIA 92668

Edward C. Barker
5-241
TEXTEL
INCORPORATED
AREA 714 541-0177

SHEET TITLE
**GAS PIPING
PLAN**

PROJECT
**RENOVATION ROAD
PROJECTS**

LOCATION
**SAN LUIS OBISPO,
CALIFORNIA**

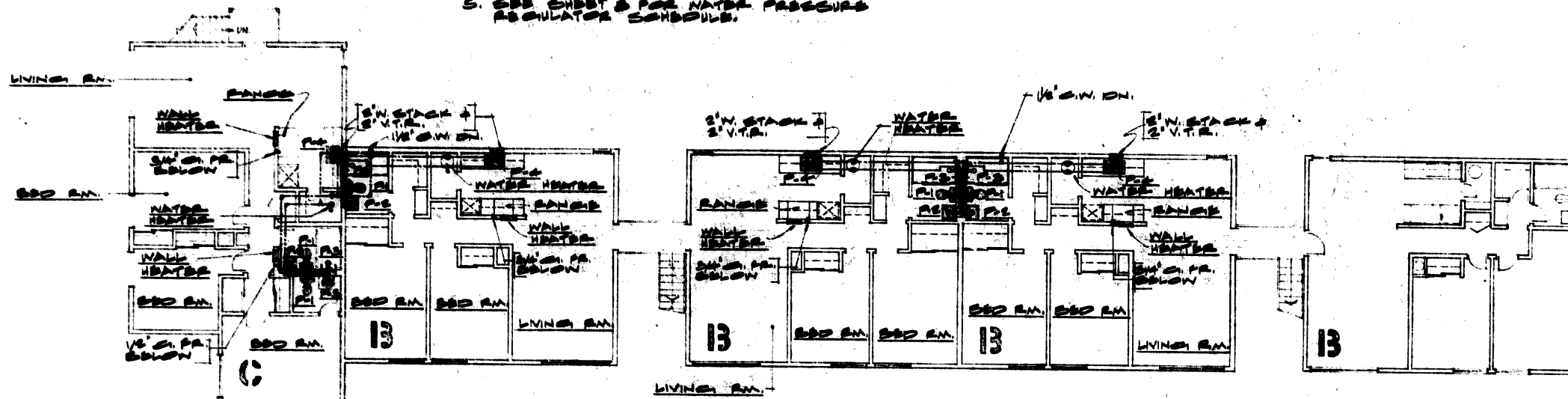
CONSULTANT
EDWARD C. BARKER ASSOCIATES
2800 West Olympic Blvd.
Los Angeles, Calif. 90006
Phone 356-4413

REVISIONS	
JOB NO.	192
DATE	8-8-78
DESIGNED	
DRAWN	
CHECKED	
APPROVED	
SHEET	P-1

1. ALL SEWER, GAS AND WATER PIPING SHOWN EXTERIOR TO BUILDING IS BELOW GRADE EXCEPT AS NOTED. FOR CONT. SEE SHT. C-1 FOR WATER, C-3 FOR SEWER & P-1 FOR GAS.

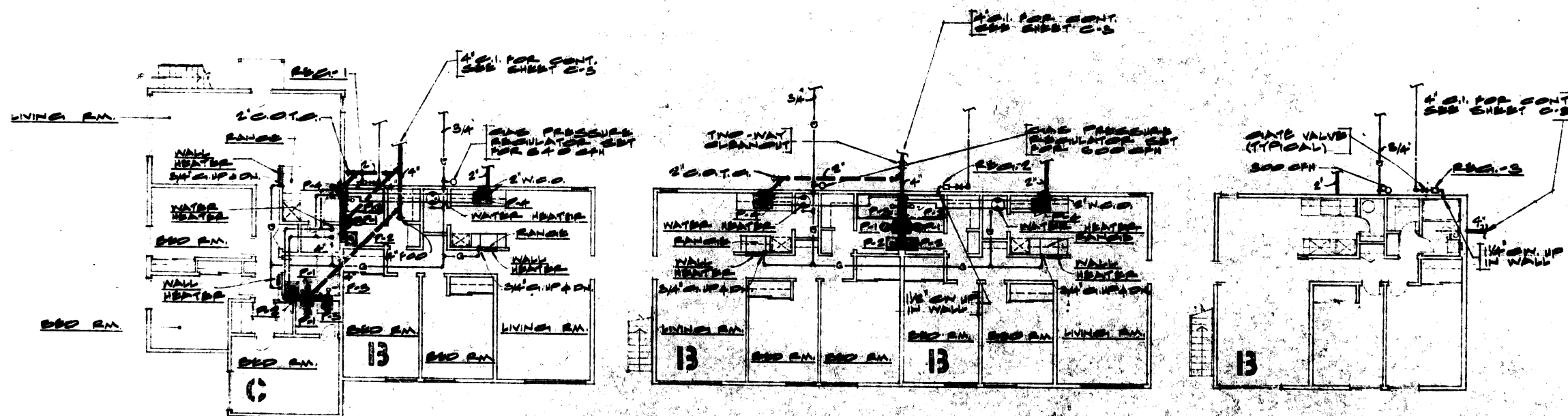
2. ALL GAS REGULATORS SHOWN ARE RELIANCE UNITS FURNISHED & INSTALLED BY THE PLUMBING CONTRACTOR.

3. SEE SHEET P-8 FOR SCHEDULES, LEGENDS, AND GENERAL NOTES.
4. SEE SHEETS P-9 AND P-10 FOR RISER DIAGRAMS, TYPICAL FOR UNITS.
5. SEE SHEET P FOR WATER PRESSURE REGULATOR SCHEDULE.



SECOND FLOOR PLAN

5 4 3 2 1 78 = 1'-0"



FIRST FLOOR PLAN

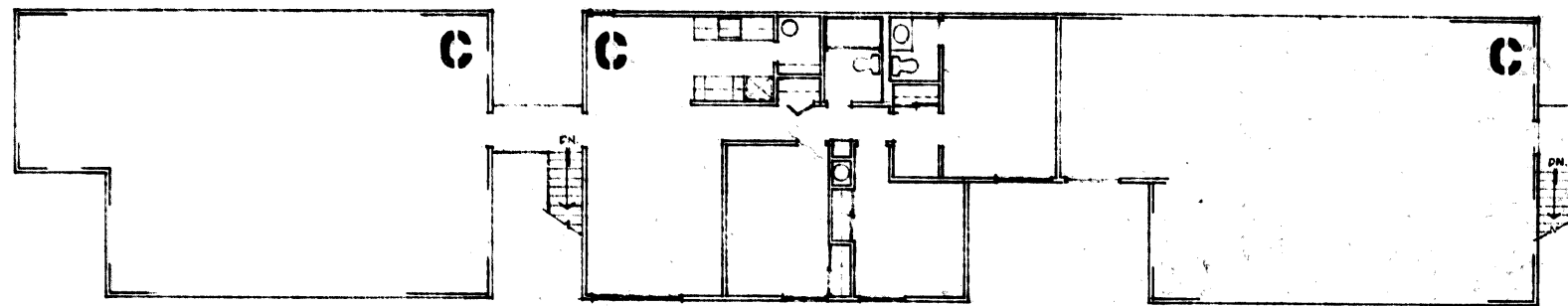
BUILDING LINE

SCALE 1/8" = 1'-0"

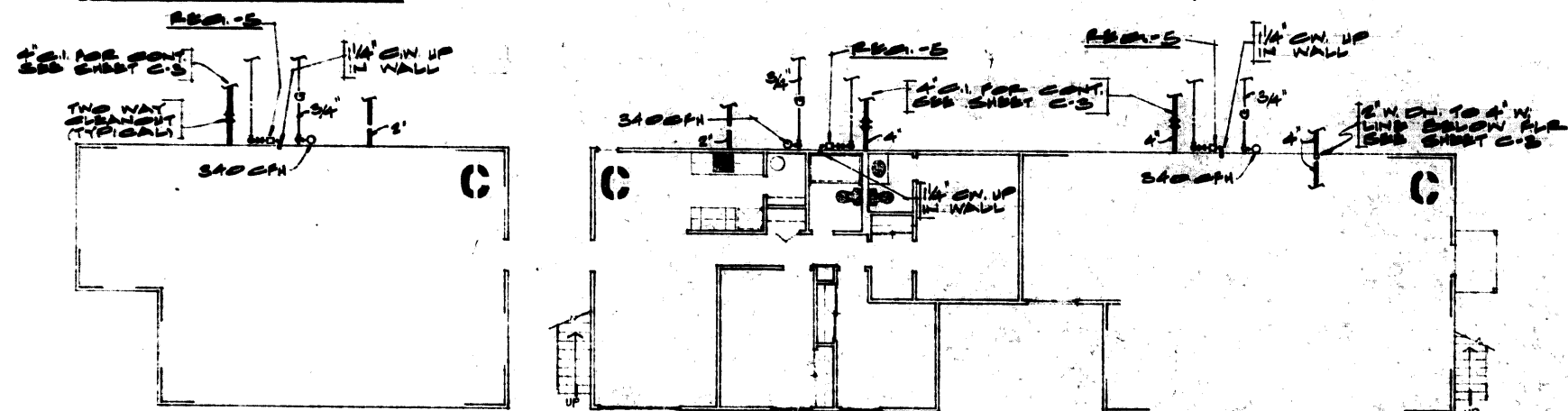
P-2

NOTES

- ALL SEWER, GAS AND WATER PIPING SHOWN EXTERIOR TO BUILDING IS BELOW GRADE EXCEPT AS NOTED. FOR CONT. SEE SHT. C-1 FOR WATER, C-3 FOR SEWER & P-1 FOR GAS.
- ALL GAS REGULATORS SHOWN ARE RELIANCE UNITS FURNISHED & INSTALLED BY THE PLUMBING CONTRACTOR.
- SEE SHEET P-8 FOR SCHEDULES, LEGENDS, AND GENERAL NOTES.
- SEE SHEETS P-9 AND P-10 FOR RISE/DIAGRAMS, TYPICAL FOR UNITS.
- SEE SHEET P-8 FOR WATER PRESSURE REGULATOR SCHEDULES.

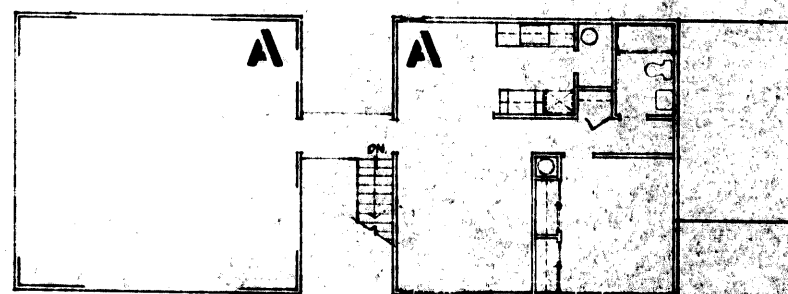


SECOND FLOOR PLAN



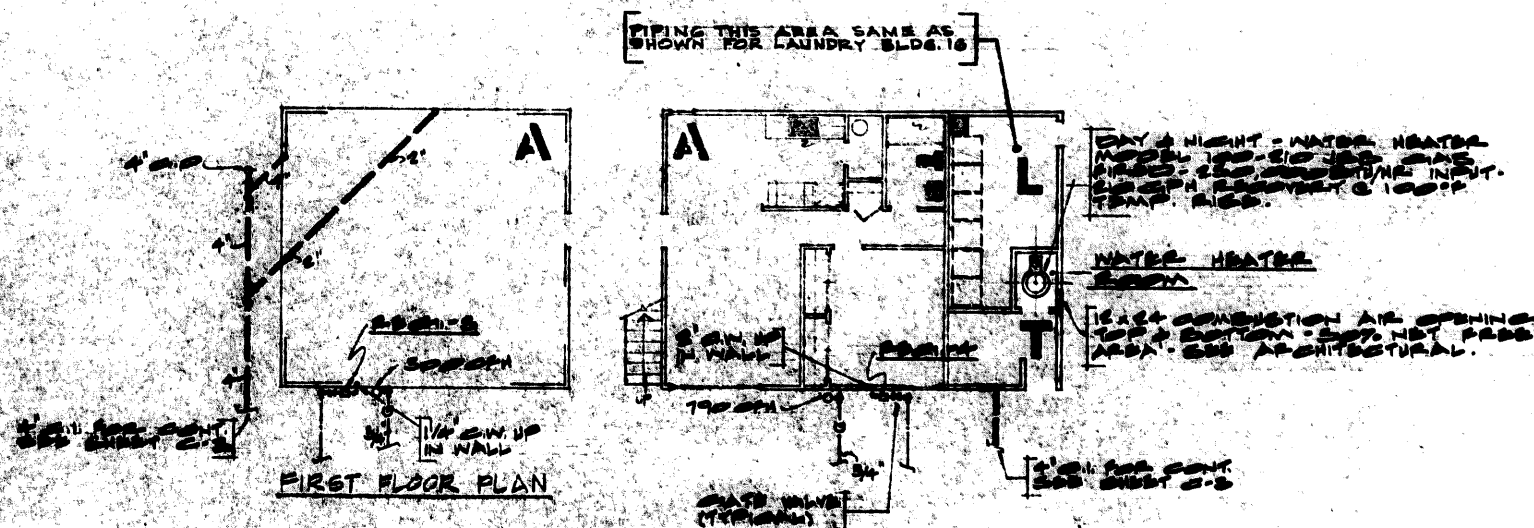
FIRST FLOOR PLAN

BUILDING NO. 2 & 18 (OPPOSITE HAND) 90' 10" x 10'



SECOND FLOOR PLAN

BUILDING NO. 4 & 15 90' 10" x 10'



FIRST FLOOR PLAN

EDWARD C. BARKER
Architect AIAP.O. BOX 1267
ORANGE CALIFORNIA 92668Edward C. Barker
2224TEXTIL
INCORPORATED
AREA 716 SAT-6177SHEET TITLE
PLUMBING
PLANS
BUILDINGS
2, 4, 15 & 18PROJECT
LOS OSOS ROAD
APARTMENTSLOCATION
SAN LUIS OBISPO,
CALIFORNIACONSULTANT
LEONARD C. BARKER ASSOCIATES
2890 West Olympic Blvd.
Los Angeles, Calif. 90008
Phone: 526-5413

REVISIONS

JOB
192 3-8-70

DESIGNED

DRAWN

CHECKED

APPROVED

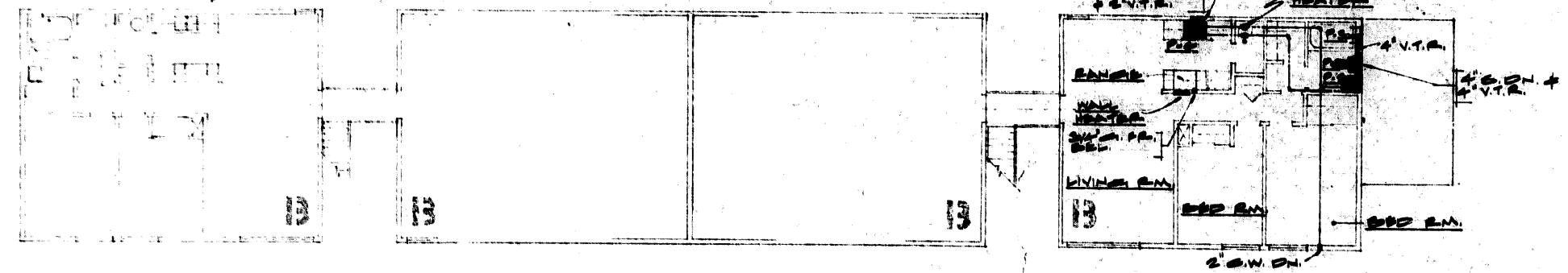
SHEET

P-3

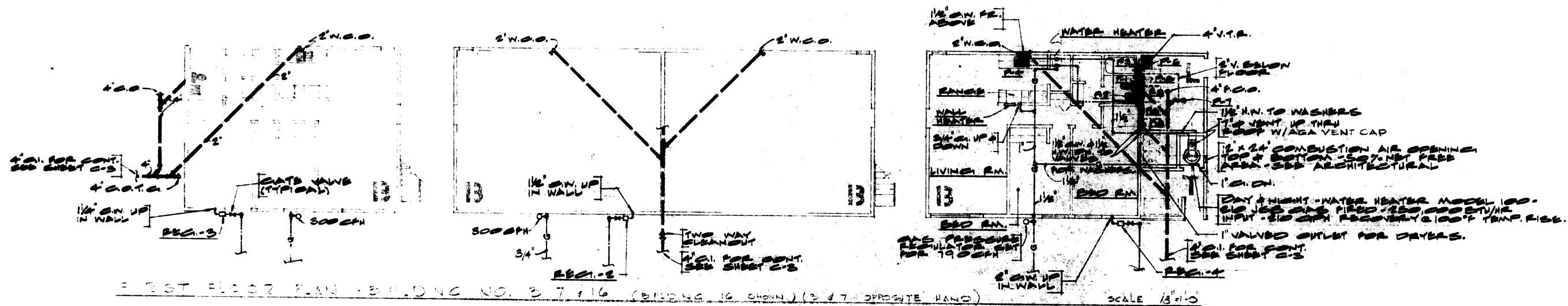
NOTES

1. ALL SEWER, GAS AND WATER PIPING SHOWN EXTERIOR TO BUILDING IS BELOW GRADE EXCEPT AS NOTED. FOR CONT. SEE SHT. C-1 FOR WATER, C-3 FOR SEWER & P-1 FOR GAS.
2. ALL GAS REGULATORS SHOWN ARE RELIANCE UNITS FURNISHED & INSTALLED BY THE PLUMBING CONTRACTOR.
3. SEE SHEET P-8 FOR SCHEDULES, LEGENDS AND GENERAL NOTES.
4. SEE SHEETS P-4 & P-10 FOR RISE DIAGRAM, TYPICAL FOR UNITS.

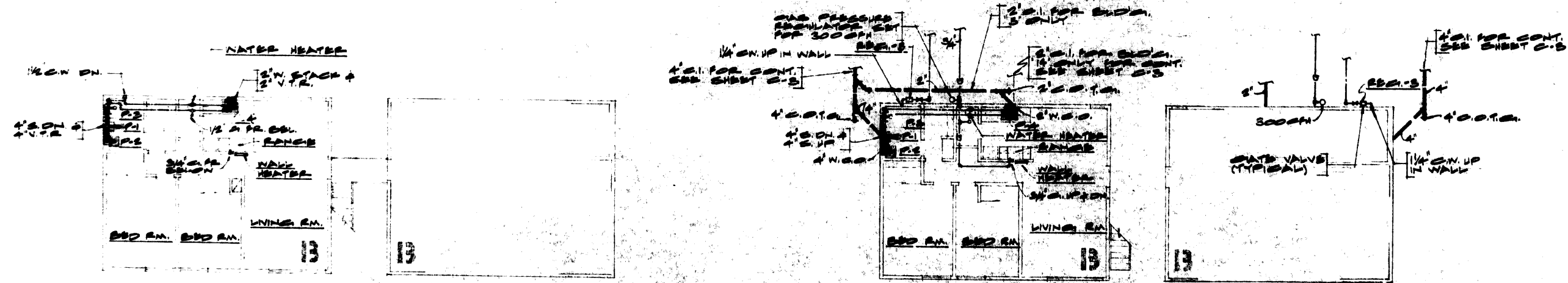
5. SEE SHEET P-8 FOR WATER PRESSURE REGULATOR SCHEDULE.



SECOND FLOOR PLAN - BUILDING NO. 7 & 16 (BUILDING 16 SHOWN - (3 & 7) OPPOSITE HAND) SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING NO. 3, 7 & 16 (BUILDING 16 SHOWN) (3 & 7) OPPOSITE HAND SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN - BUILDING NO. 5 & 14 SCALE 1/8" = 1'-0"

FIRST FLOOR PLAN - BUILDING NO. 5 & 14 SCALE 1/8" = 1'-0"

EDWARD C. BARKER
Architect AIA
P.O. BOX 1257
ORANGE CALIFORNIA 92668
Edward C. Barker
TEXTEL
INCORPORATED
AREA 716 541-6177

SHEET TITLE
**PLUMBING
PLANS
BUILDING
5, 7, 14 & 16**

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT
LEONARD C. ROHR ASSOCIATES
2650 West Olympic Blvd.
Los Angeles, Calif. 90004
Phone: 286-2412

REVISIONS

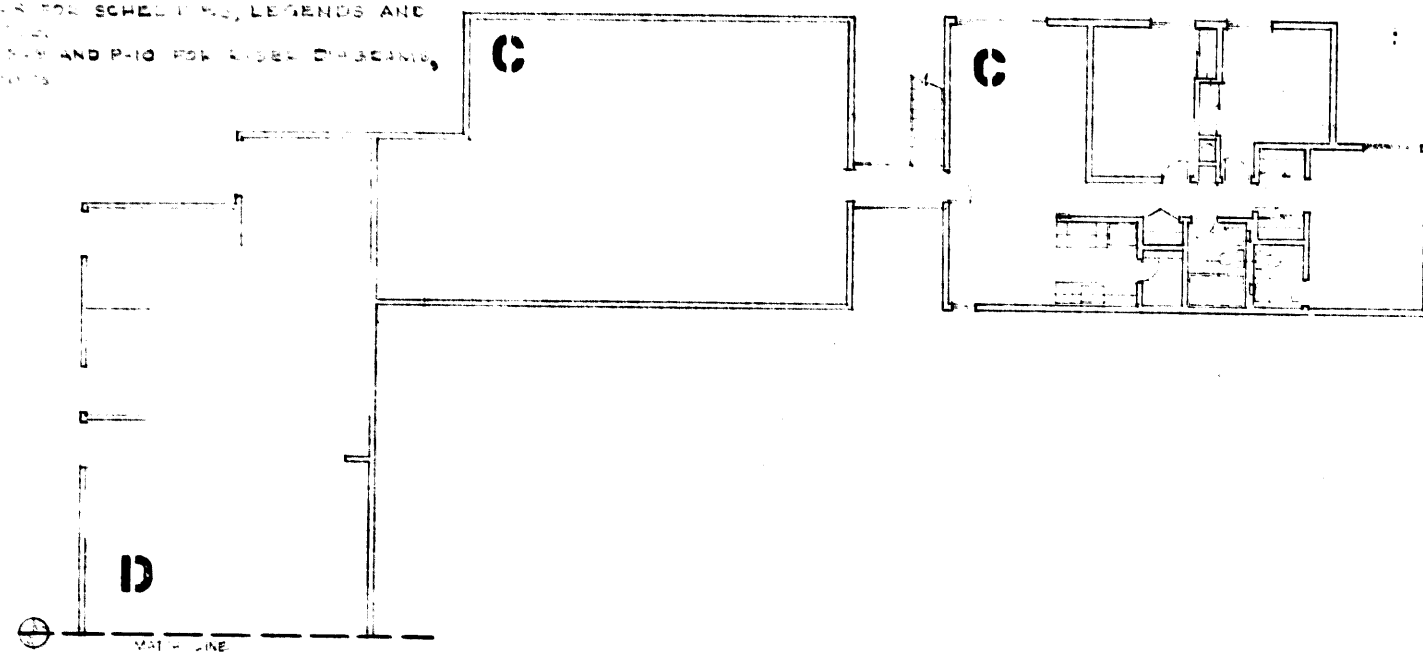
JOB NO.	5-2-70
DESIGNED	
DRAWN	
CHECKED	
APPROVED	
SHEET	P-4

ALL WATER, GAS AND WATER PIPING SHOWN EXTERIOR TO BUILDING IS BELOW GRADE EXCEPT AS NOTED. FOR WWT SEE SHT. C-1 FOR WATER, C-3 FOR SEWER & P-1 FOR GAS.

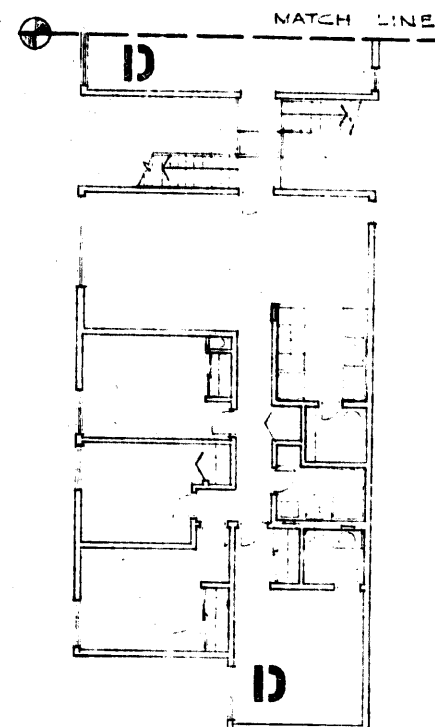
ALL GAS REGULATORS SHOWN ARE RELIANCE UNITS FURNISHED & INSTALLED BY THE PLUMBING CONTRACTOR.

3. SEE SHEET P-5 FOR SCHEDULES, LEGENDS AND GENERAL NOTES.
4. SEE SHEET P-10 AND P-11 FOR RISES, DROPS, AND FALLS.

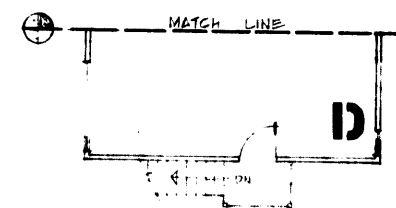
5. SEE SHEET P-5 FOR WATER PRESSURE REGULATOR SCHEDULE.



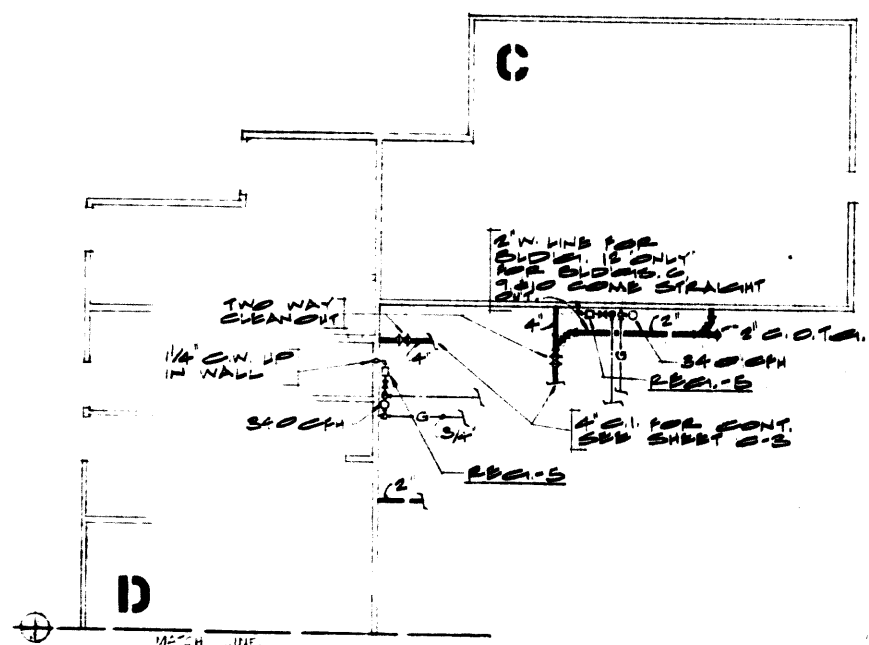
SECOND FLOOR PLAN (BLDG. NO. 6, 9, 10 & 12) SCALE 1/8" = 1'-0"



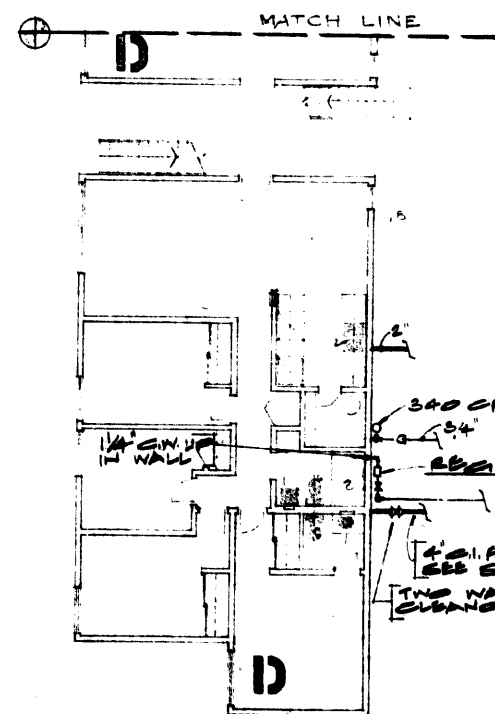
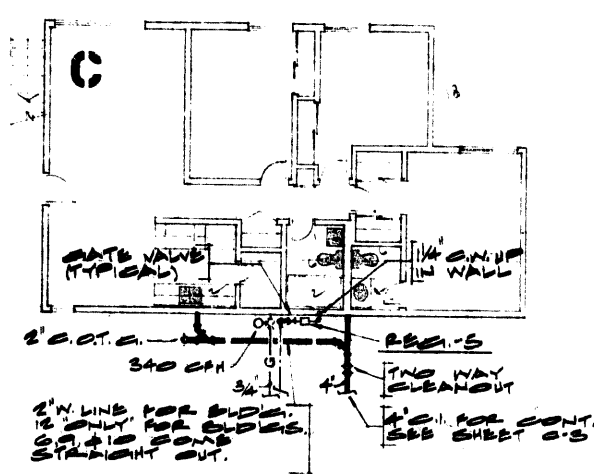
NORTH-END FIRST FLOOR PLAN BLDG. NO. 9



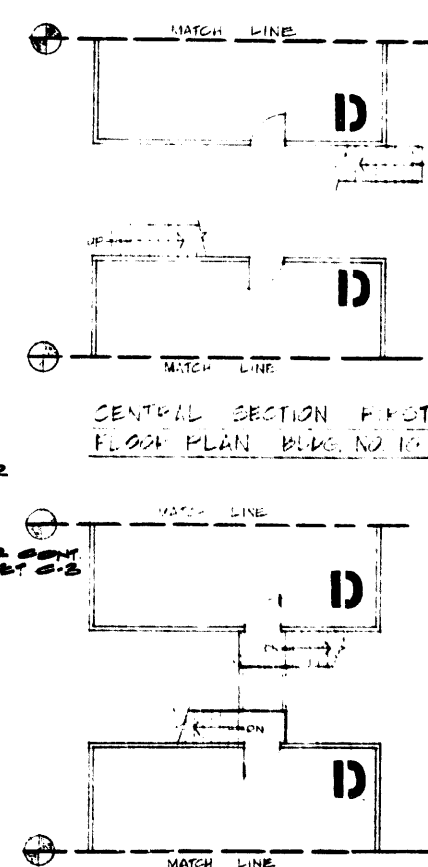
NORTH-END SECOND FLOOR PLAN BLDG. NO. 9



FIRST FLOOR PLAN (BLDG. NO. 6, 9, 10 & 12) SCALE 1/8" = 1'-0"



CENTRAL SECTION FIRST FLOOR PLAN BLDG. NO. 10



CENTRAL SECTION SECOND FLOOR PLAN BLDG. NO. 10

EDWARD C. BARKER
Architect AIA

P.O. BOX 1287
ORANGE, CALIFORNIA 92668

TEXTEL
INCORPORATED
AREA 714 541-6177

SHEET TITLE
PLUMBING PLANS - BUILDINGS 6, 9, 10 & 12

PROJECT
LOS OSOS ROAD APARTMENTS

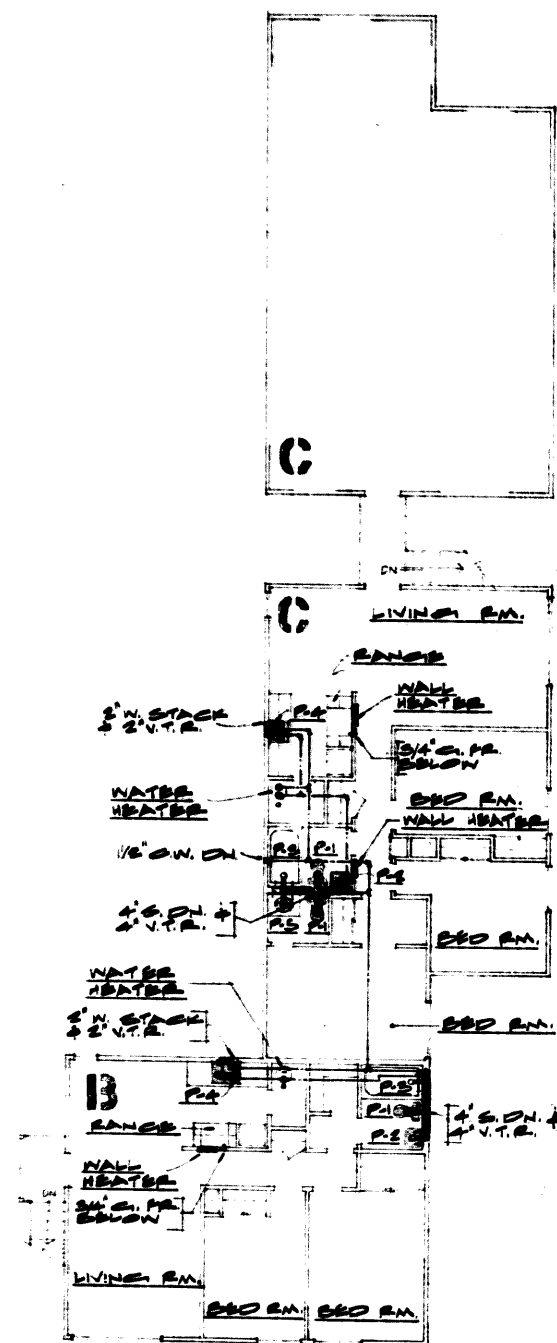
LOCATION
SAN LUIS OBISPO, CALIFORNIA

CONSULTANT
EDWARD C. BARKER ASSOCIATES
2850 West Olympic Blvd.
Los Angeles, Calif. 90006
Phone: 532-1413

REVISIONS	
JOB NO.	192
DESIGNED	5-8-70
DRAWN	
CHECKED	
APPROVED	
SHEET	P-5

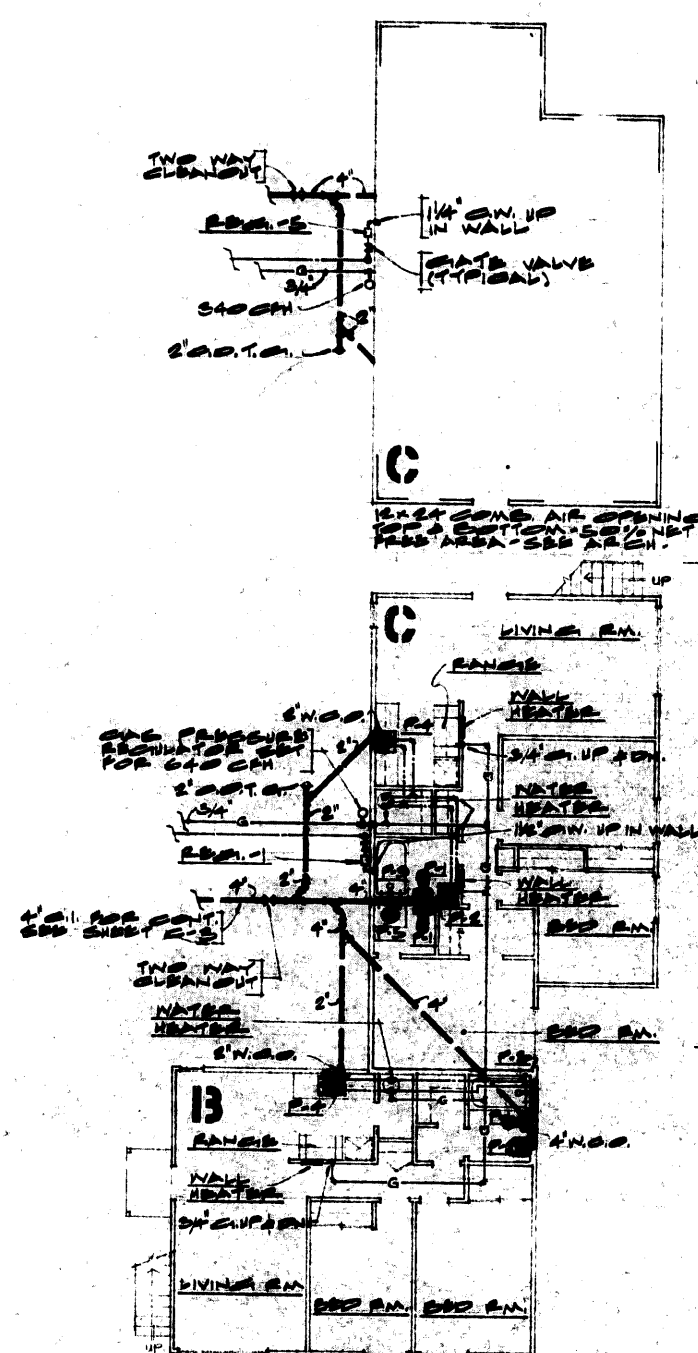
NOTES

1. ALL SEWER, GAS AND WATER PIPING SHOWN EXTERIOR TO BUILDING IS BELOW GRADE EXCEPT AS NOTED. FOR CONT. SEE SHT. C-1 FOR WATER, C-3 FOR SEWER & P-1 FOR GAS.
2. ALL GAS REGULATORS SHOWN ARE RELIANCE UNITS FURNISHED & INSTALLED BY THE PLUMBING CONTRACTOR.
3. SEE SHEET P-5 FOR SCHEDULES, LEGENDS AND GENERAL NOTES.
4. SEE SHEETS P-9 AND P-10 FOR RISE DIAGRAM.
5. SEE SHEET P-6 FOR WATER PRESSURE REGULATOR SCHEDULE.

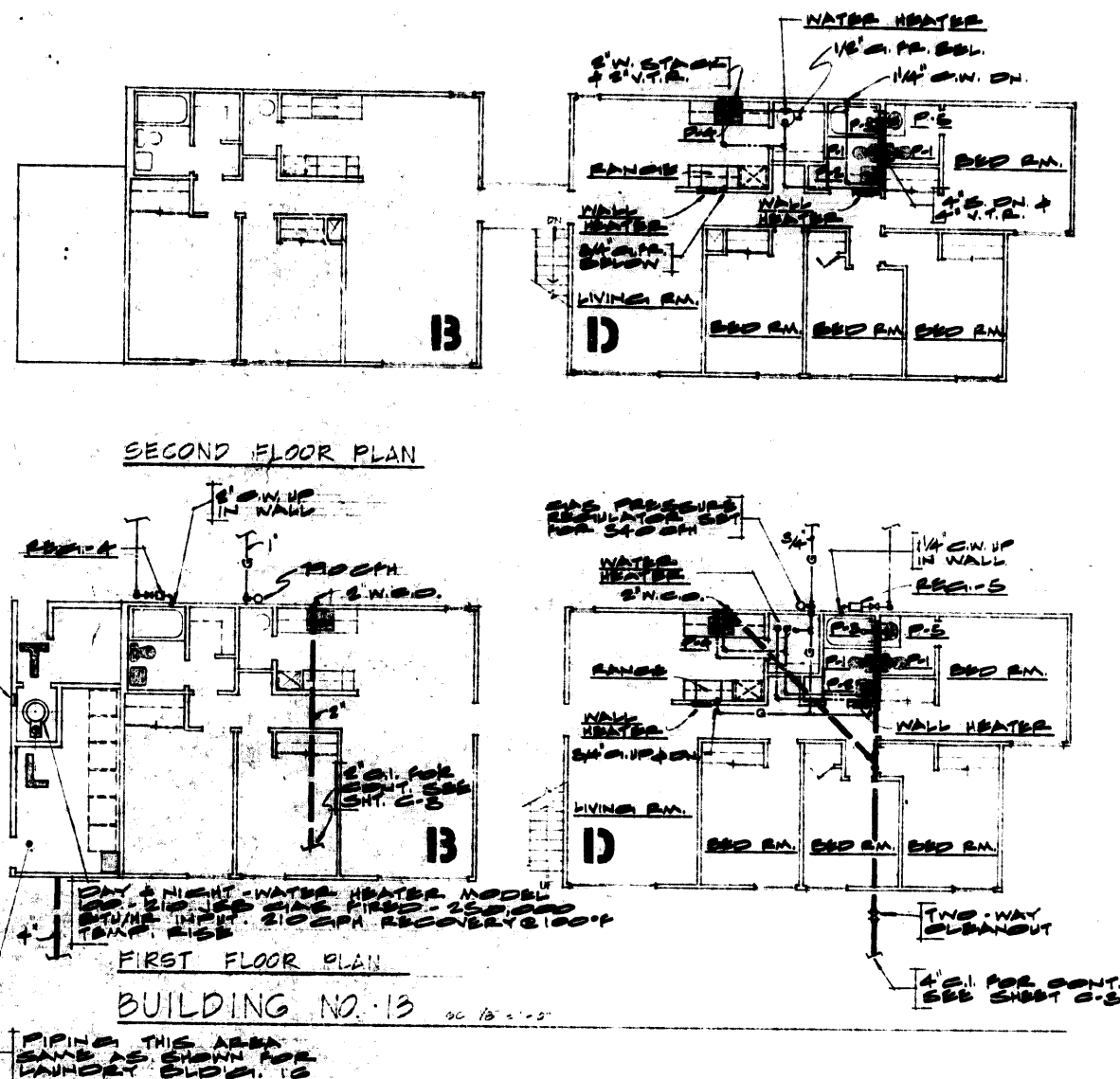


SECOND FLOOR PLAN

BUILDING NO. 11 90 10' x 10'



FIRST FLOOR PLAN



SECOND FLOOR PLAN

BUILDING NO. 13 90 10' x 10'

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE, CALIFORNIA 92668

Edward C. Barker
TEXTEL
INCORPORATED
AREA 714 541-6177

SHEET TITLE
**PLUMBING
PLANS -
BUILDINGS**
11 & 13

PROJECT
LOS 0505 ROAD
APARTMENTS

LOCATION
SUN LANE CROSSING
CALIFORNIA

CONSULTANT
EDWARD C. BARKER ASSOCIATES
2690 West Olympic Blvd.
Los Angeles, Calif. 90006
Phone 386-1412

REVISIONS

JOB NO.
192 5-8-70

DESIGNED

DRAWN

CHECKED

APPROVED

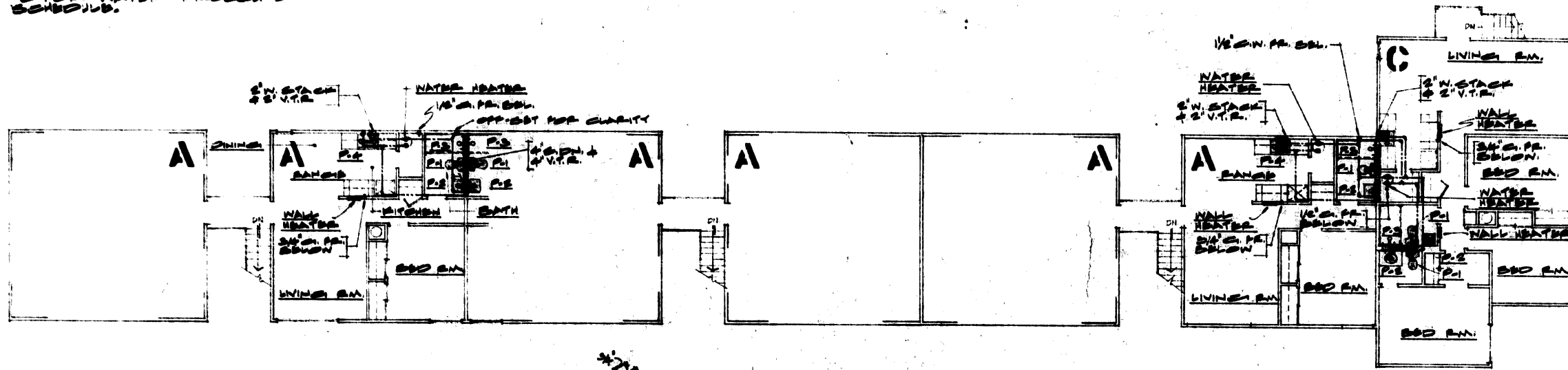
SHEET

13-6

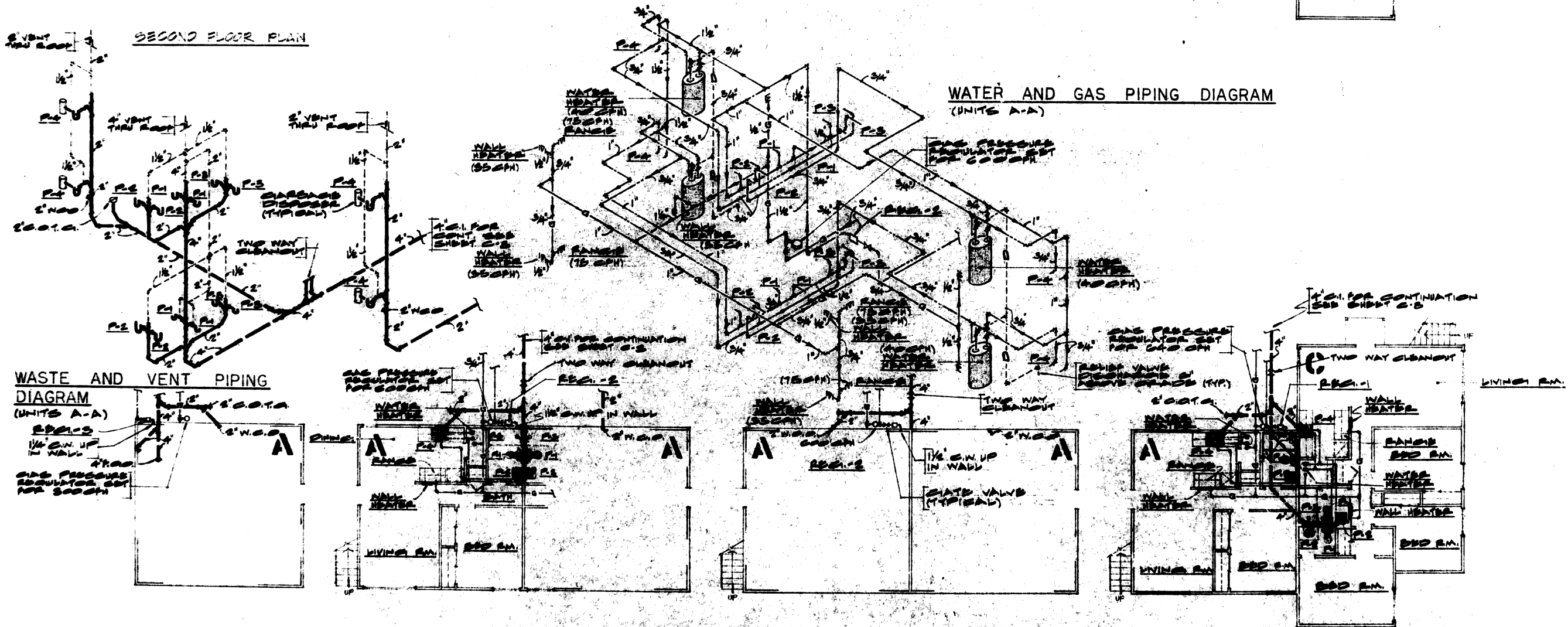
ALL SEWER, GAS AND WATER PIPING SHOWN EXTERIOR TO BUILDING IS BELOW GRADE EXCEPT AS NOTED. FOR CONT. SEE SHT. C-1 FOR WATER, C-2 FOR SEWER & P-1 FOR GAS.

ALL GAS REGULATORS SHOWN ARE RELIANCE UNITS FURNISHED & INSTALLED BY THE PLUMBING CONTRACTOR.

3. SEE SHEET P-8 FOR SCHEDULES, LEGENDS AND GENERAL NOTES.
4. SEE SHEETS P-9 AND P-10 FOR RISER DIAGRAMS, TYPICAL FOR UNITS.
5. SEE SHEET P-6 FOR WATER PRESSURE REGULATOR SCHEDULE.



SECOND FLOOR PLAN



WATER AND GAS PIPING DIAGRAM
(UNITS A-A)

WASTE AND VENT PIPING
DIAGRAM
(UNITS A-A)

FIRST FLOOR PLAN

BUILDING NO. 17

EDWARD C. BARKER
Architect AIA

P.O. BOX 1267
ORANGE, CALIFORNIA 92668

Edward C. Barker
TEXTIL
INCORPORATED
AREA 714 541-6177

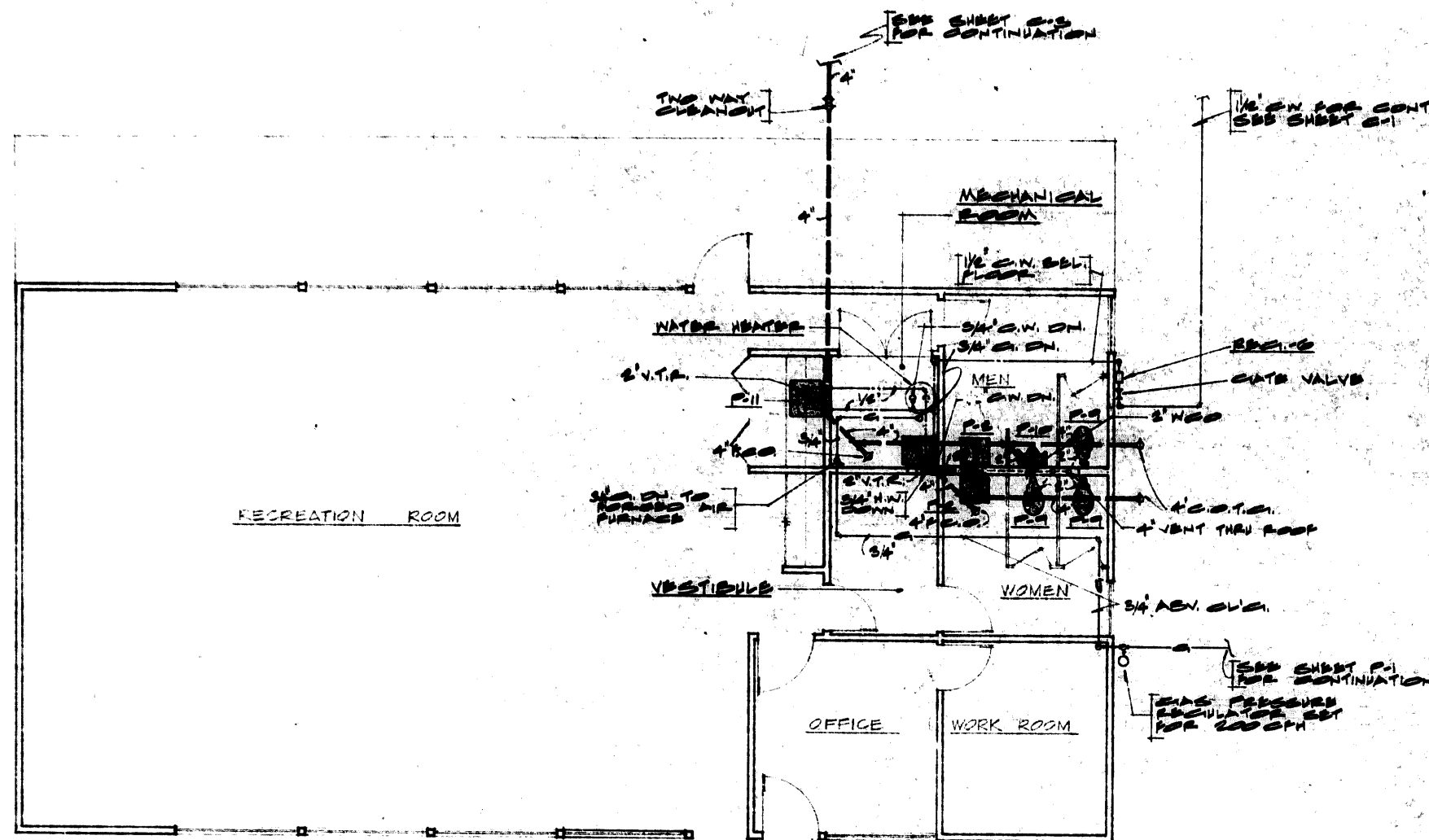
SHEET TITLE
PLUMBING
PLAN
BUILDING 17

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT
LEONARD C. ROHR ASSOCIATES
2850 West Olympic Blvd.
Los Angeles, Calif. 90006
Phone: 326-4413

REVISIONS	
JOB NO.	5-0-70
DESIGNED	
DRAWN	
CHECKED	
APPROVED	
SHEET	P-7



PLUMBING PLAN - RECREATION BUILDING NO-19.
SCALE 1/4"=1'-0"

NOTES

1. ALL SEWER, GAS AND WATER PIPING SHOWN EXTERIOR TO BUILDING IS BELOW GRADE EXCEPT AS NOTED. FOR CONT. SEE SHT. G-1 FOR WATER, G-3 FOR SEWER & H-1 FOR GAS.
2. ALL GAS REGULATORS SHOWN ARE RELIANCE UNITS FURNISHED & INSTALLED BY THE PLUMBING CONTRACTOR.
3. SEE SHEETS P-9 AND P-10 FOR RISER DIAGRAMS, TYPICAL FOR UNITS.

WATER PRESSURE REGULATOR SCHEDULE:

REGULATORS TO BE WILLIAMS, WATTS OR CASH - AS SHOWN AS SHOWN FOR EACH BUILDING.

MINIMUM INLET PRESSURE - 10 PSIG.
MAXIMUM INLET PRESSURE - 85 PSIG.
MAXIMUM OUTPUT PRESSURE - 50 PSIG.

REGULATOR	PSIG
REG-1	25
REG-2	20
REG-3	12
REG-4	30
REG-5	15
REG-6	30

MARK	DESCRIPTION	PLUMBING FIXTURE SCHEDULE				NO. OF UNITS	REMARKS
		WASTE	VENT	C. W.	H. W.		
P-1	WATER CLOSET	4"	2"	1 1/2"	-		
P-2	LAVATORY	1 1/2"	1 1/2"	1 1/2"	1 1/2"		
P-3	BATH TUB	1 1/2"	1 1/2"	1 1/2"	1 1/2"		
P-4	KITCHEN SINK	2"	1 1/2"	1 1/2"	1 1/2"		DOUBLE COMPARTMENT
P-5	LAVATORY	1 1/2"	1 1/2"	1 1/2"	1 1/2"		IN COUNTER
P-6	SERVICE SINK	2"	1 1/2"	1 1/2"	1 1/2"		
P-7	FLOOR DRAIN	2"	2"	-	-		
P-8	WASHER	2"	1 1/2"	1 1/2"	1 1/2"		ROUGH IN ONLY
P-9	WATER CLOSET	4"	2"	1"	-		FLUSH VALVE
P-10	URINAL	2"	1 1/2"	3/4"	-		

GARBAGE DISPOSAL BELOW ONE COMPARTMENT.

PLUMBING SYMBOLS & LEGEND	
SYMBOL	DESCRIPTION
---	SEWER, SOIL OR WASTE PIPE BEL. GR. OR FLR.
---	SEWER, SOIL OR WASTE PIPE ABOVE FLOOR
---	VENT PIPING
G	GAS PIPING (LOW PRESSURE - 10 INCHES H ₂ O)
C. W.	COLD WATER PIPING
H. W.	HOT WATER PIPING
H. W. R.	HOT WATER RECIRCULATING PIPING
G. V.	GATE VALVE
S. O. V.	SHUT OFF VALVE
P. C.	PLUG COCK
	GAS COCK
U. I.	UNION
C. I.	CAST IRON
P. & T. R. V.	PRESSURE & TEMPERATURE RELIEF VALVE
R. V.	RELIEF VALVE
S. T. R.	STRAINER
V. T. R.	VENT THRU ROOF
M. G.	MEDIUM PRESSURE GAS PIPING (5 PSIG)
B. G.	BELOW GRADE (DOMESTIC H. W. & H. W. R.)

EDWARD J. ROHR ASSOCIATES
INCORPORATED

TEXTILE
INCORPORATED

PLUMBING
SCHEDULE &
GENERAL
NOTES

PLUMBING
PLAN SIDE 19

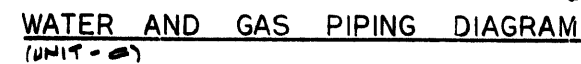
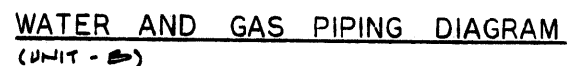
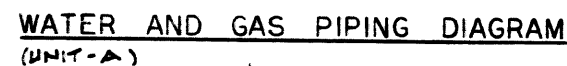
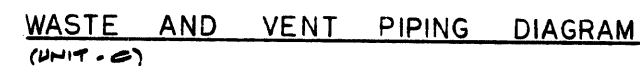
PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
2850 West Olympic Blvd.
LOS ANGELES, CALIF. 90006

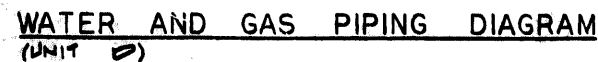
COMPANY
LEONARD C. ROHR ASSOCIATES
2850 West Olympic Blvd.
Los Angeles, Calif. 90006
Phone 386-4413

5-8-70

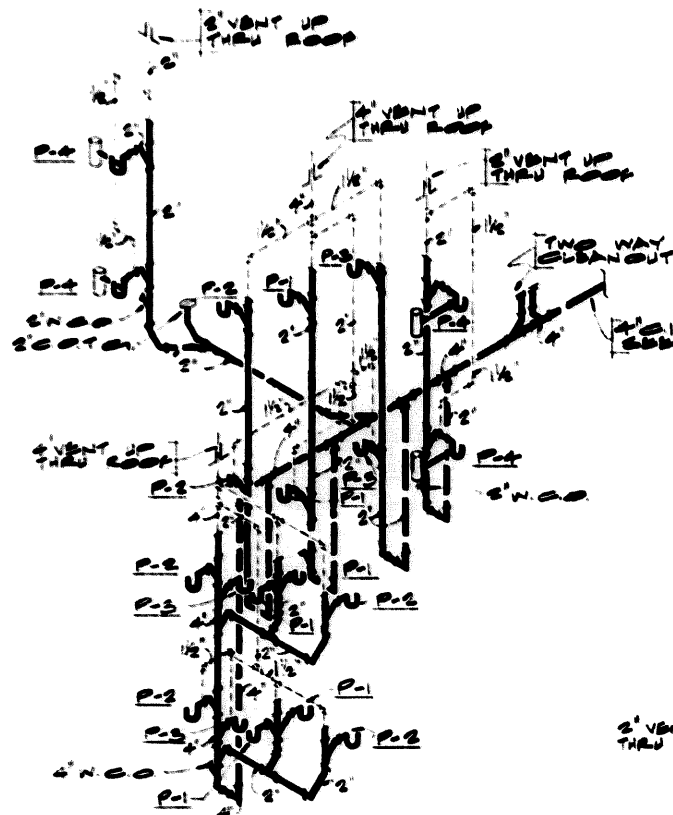
13-83



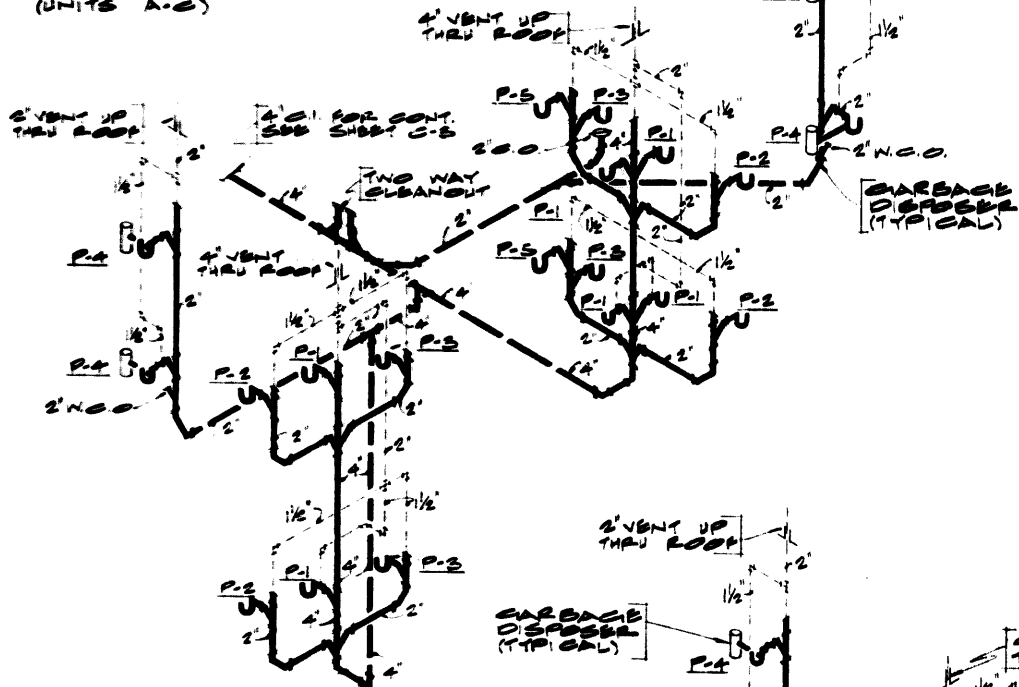
1. SEE SHEET P-8 FOR LEGENDS, SCHEDULES & SYMBOLS.
2. ALL 1" ROBERT VALVE DISCHARGES FROM P.T. RV. SHALL TERMINATE IN A TURNED DOWN BLOSSOM 2-INCHES ABOVE GRADE.
3. SEE SHEETS P-2 THRU P-7 FOR FLOOR PLANS OF UNITS.
4. SEE SHEET P-8 FOR WATER PRESSURE REGULATOR SCHEDULE.



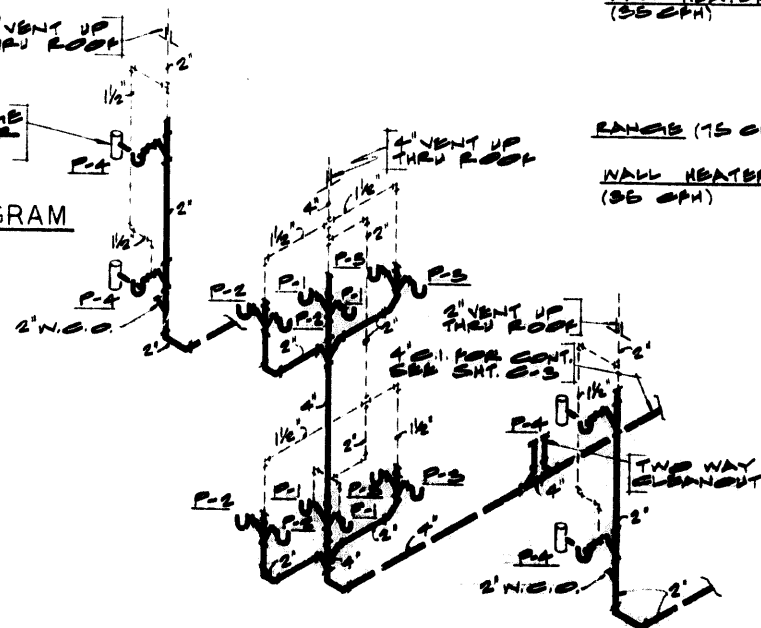
13-5



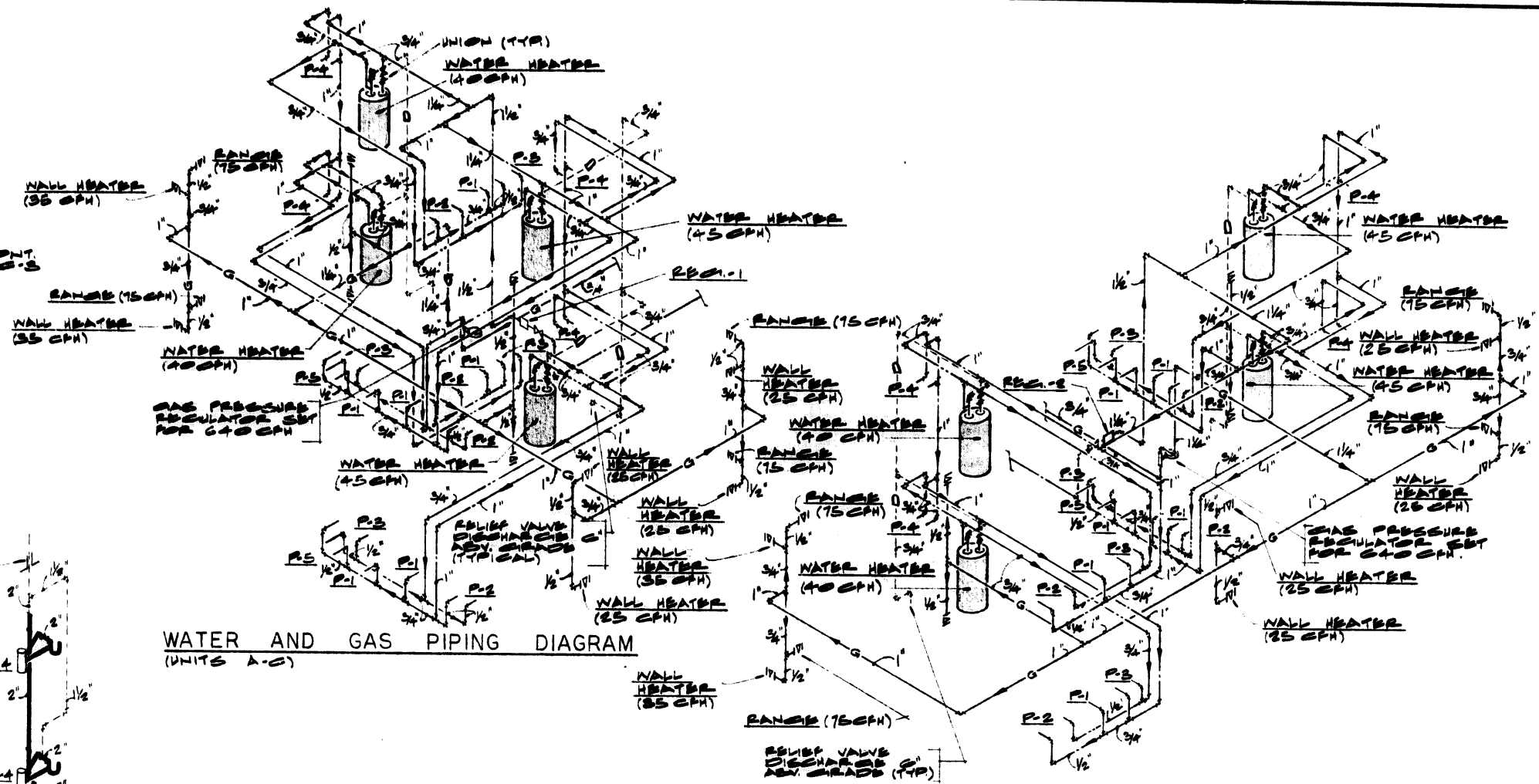
WASTE AND VENT PIPING DIAGRAM
(UNITS A-C)



WASTE AND VENT PIPING DIAGRAM
(UNITS D-G)

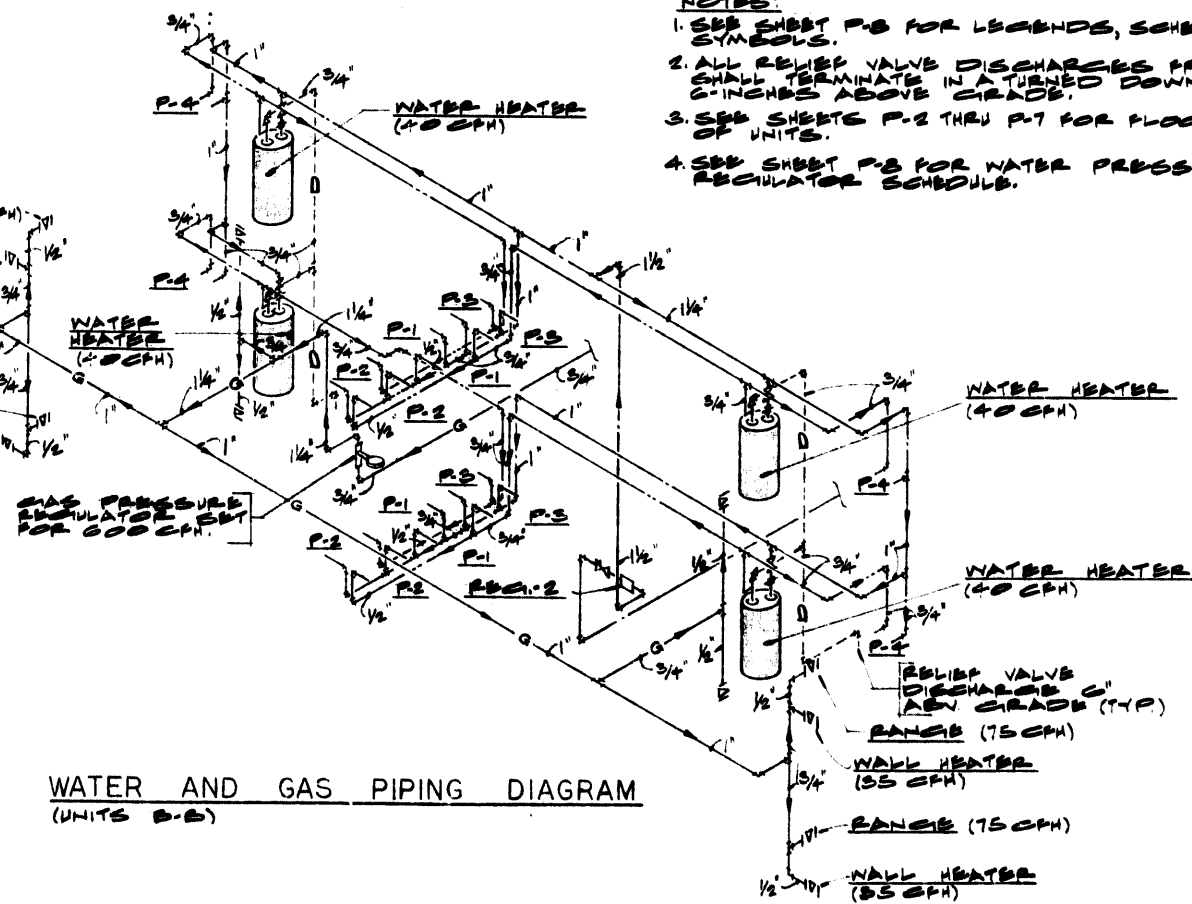


WASTE AND VENT PIPING DIAGRAM
(UNITS H-I)



WATER AND GAS PIPING DIAGRAM
(UNITS A-C)

WATER AND GAS PIPING DIAGRAM
(UNITS D-G)



WATER AND GAS PIPING DIAGRAM
(UNITS H-I)

- NOTES:**
- SEE SHEET P-8 FOR LEGENDS, SCHEDULES & SYMBOLS.
 - ALL RELIEF VALVE DISCHARGES FROM P.T. RV. SHALL TERMINATE IN A TURNED DOWN BLOWN 6" INCHES ABOVE GRADE.
 - SEE SHEETS P-2 THRU P-7 FOR FLOOR PLANS OF UNITS.
 - SEE SHEET P-8 FOR WATER PRESSURE REGULATOR SCHEDULE.

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1257
ORANGE, CALIFORNIA 92668

Edward C. Barker
0774

TEXTEL
INCORPORATED
AREA 714 541-6177

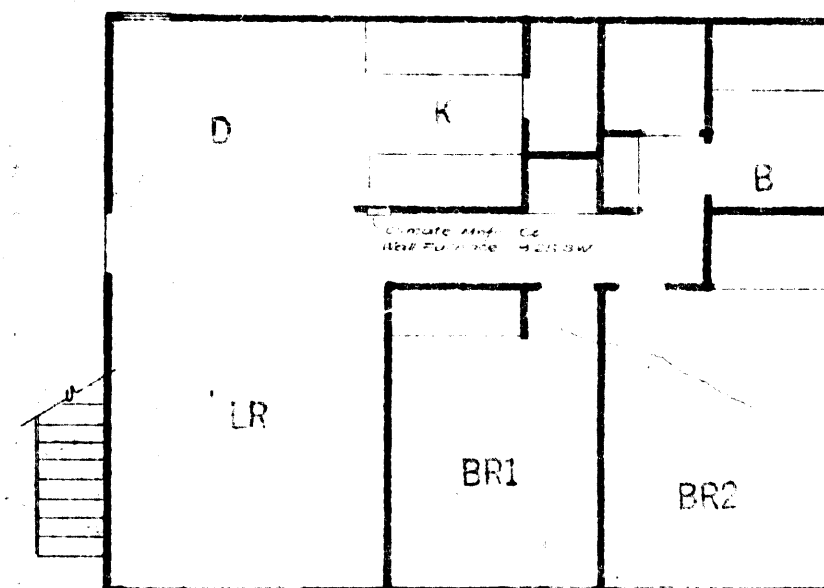
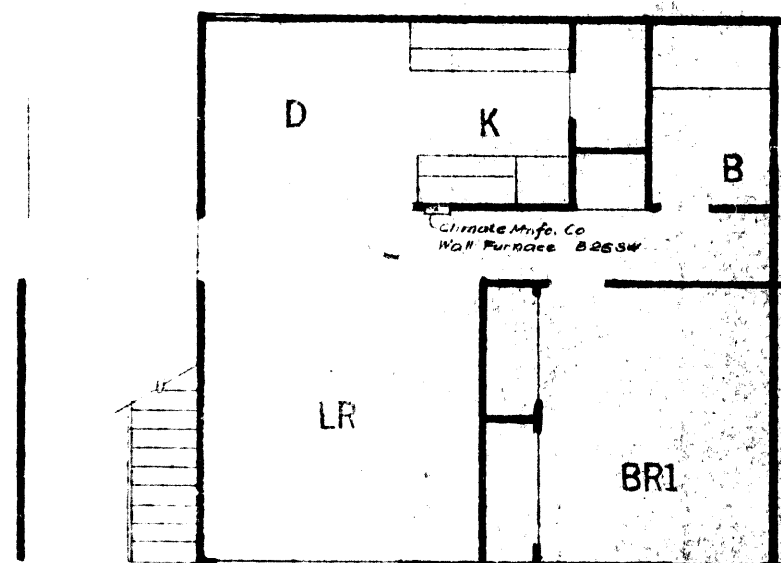
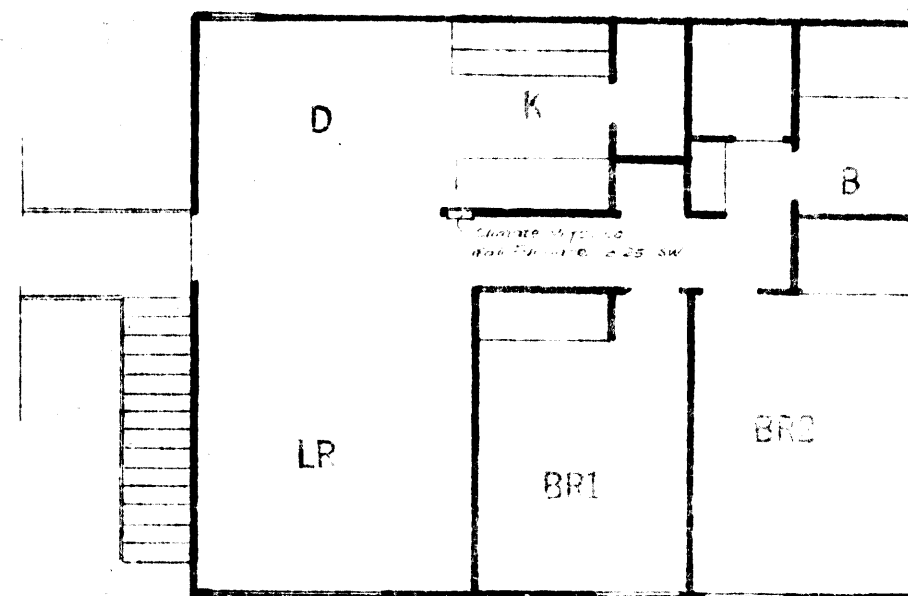
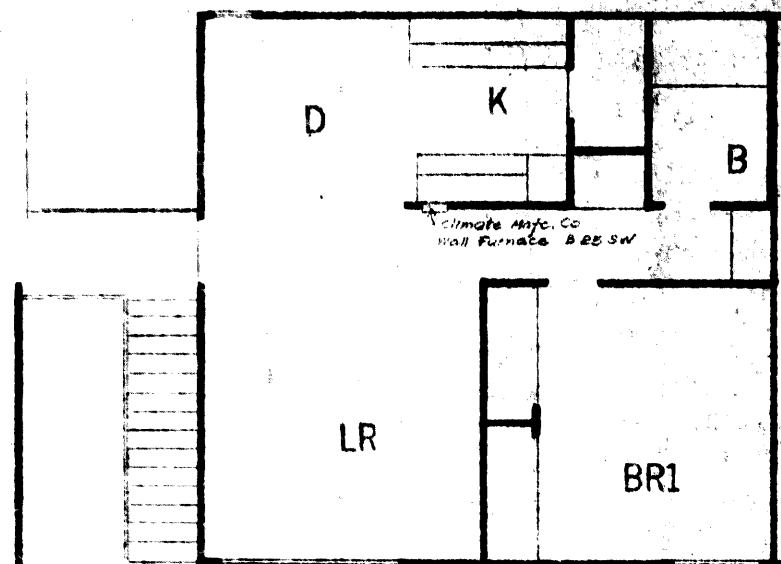
SHEET TITLE
**WASTE, VENT,
WATER AND
GAS PIPING
DIAGRAM**

PROJECT
**LOS OSOS ROAD
APARTMENTS**

LOCATION
**SAN LUIS OBISPO,
CALIFORNIA**

CONSULTANT
LEONARD C. ROTH ASSOCIATES
2850 West Century
Los Angeles, Calif. 90047
Phone: 385-4411

REVISIONS	
JOB NO.	92-5-70
DESIGNED	
DRAWN	
CHECKED	
APPROVED	
SHEET	P-10



1ST FLOOR PLAN

ONE BEDROOM

1ST FLOOR PLAN

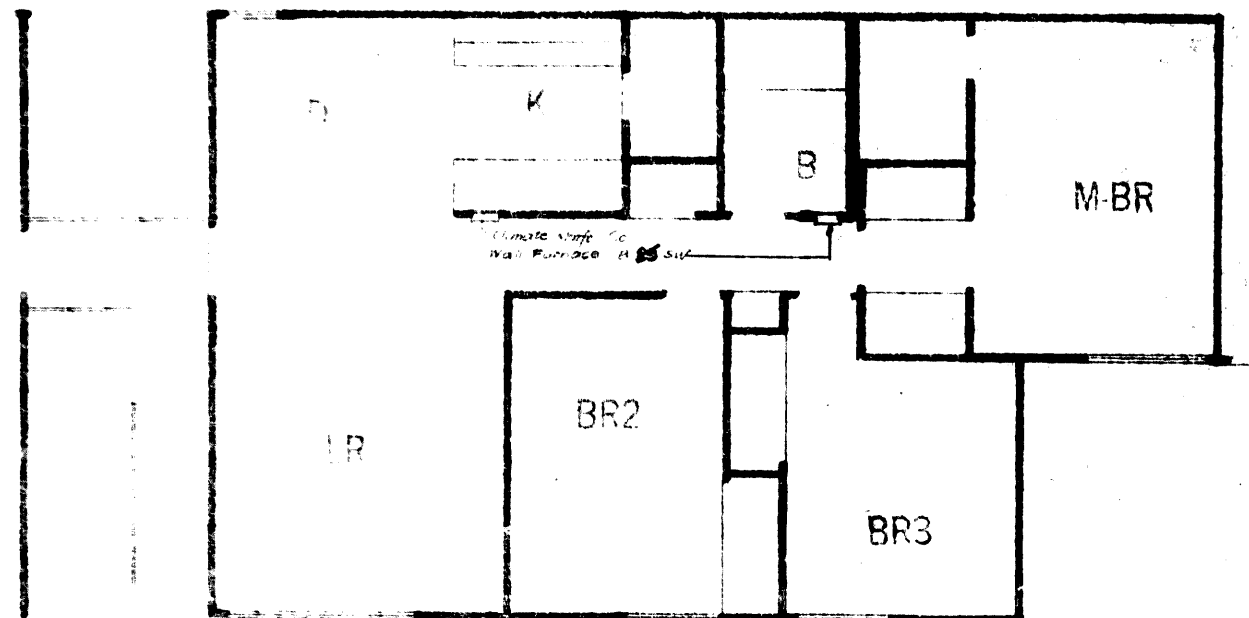
TWO BEDROOM

5-5-70
M-1

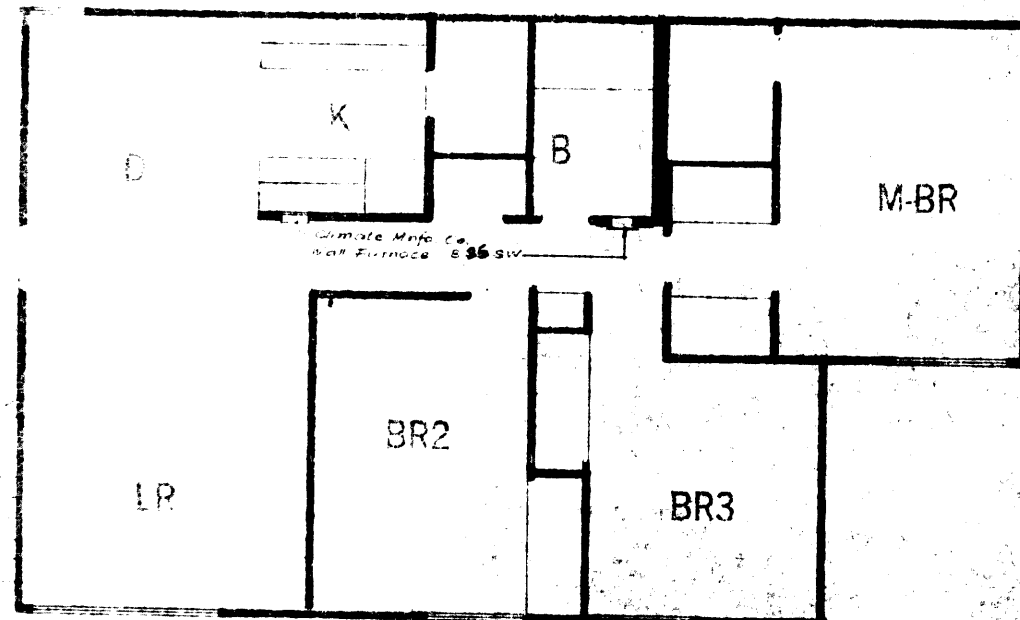
Edward C. Baker 62211

HEATING

				DESCRIPTION			
				SPRIGG MOVES, San - 115 001037			
				HEATING			
				DATE	SCALE	MEASUREMENT	APPROVED
				10-6-76	1:10	115 001037	115 001037
				TOL. EXCEPT			
				FRAC.	SEC.	ANG.	

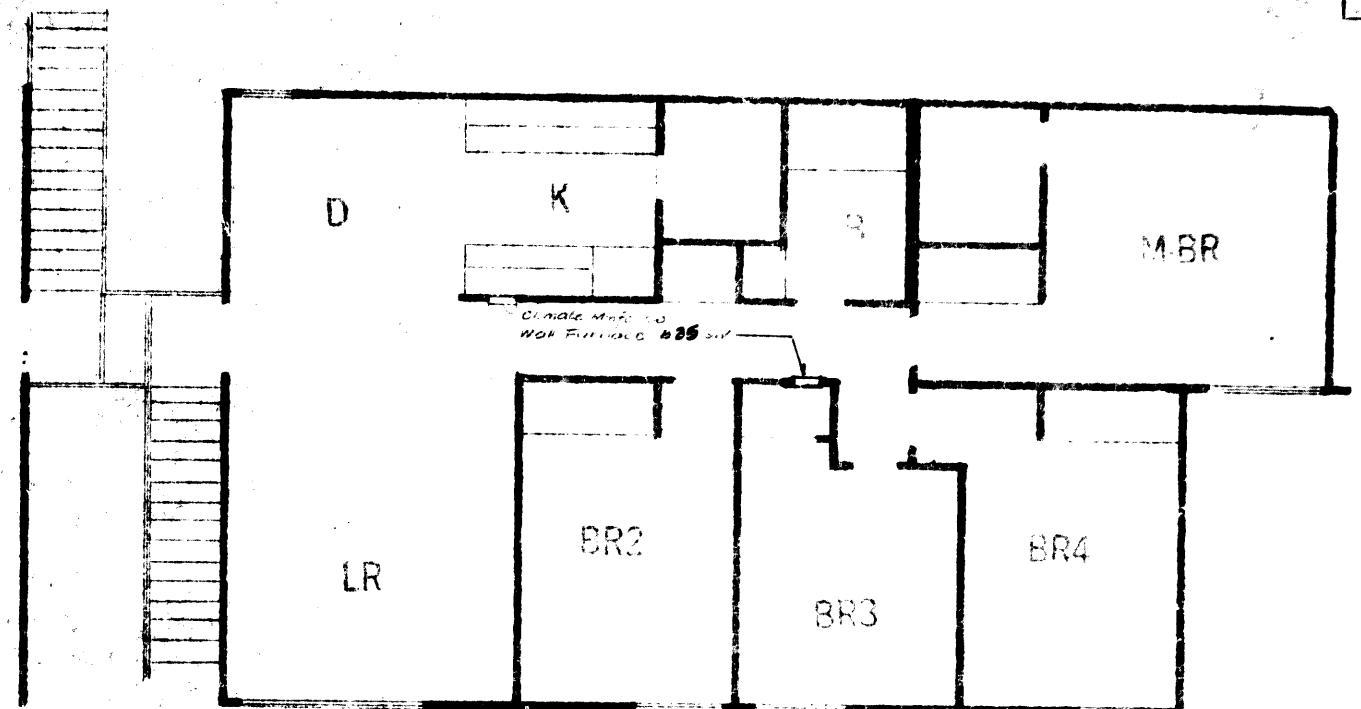


1ST FLOOR PLAN

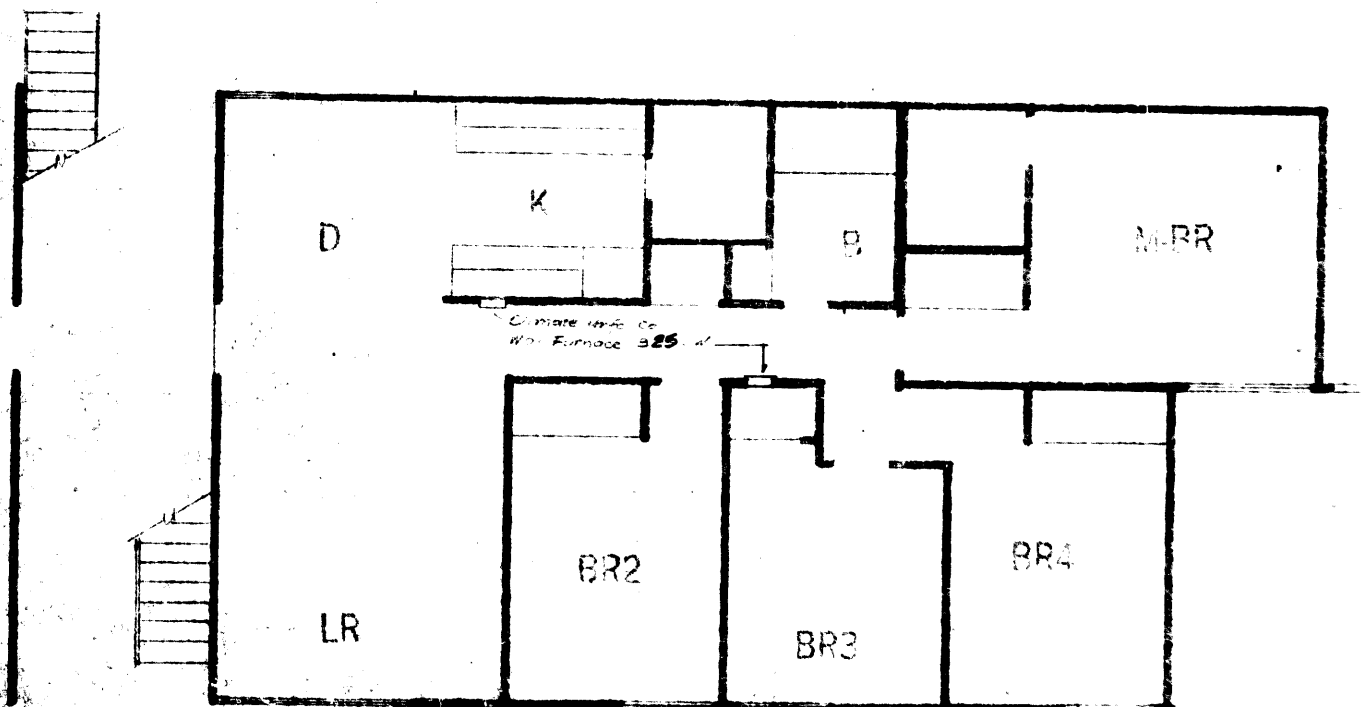


2ND FLOOR PLAN

THREE BEDROOM



1ST FLOOR PLAN



2ND FLOOR PLAN

FOUR BEDROOM

DATE		BY		CHECKED		APPROVED		REVISION	
<p>THREE & FOUR BEDRM. UNITS</p> <p>GAFFERS & SATTLER</p> <p>LOS ANGELES, CALIFORNIA</p> <p>DESCRIPTION</p> <p>SPECIAL HOMES, SAN JOSE CO. 3000</p> <p>HEATING</p> <p>367 1/2" 1/2" 1/2" 1/2" 1/2" 1/2" 1/2" 1/2" 1/2" 1/2"</p>									

5-5-70
M-2

Design Conditions		Calculation of Shaded and Unshaded Areas on Windward Roof Overhang	
Outdoor	Indoor		
Winter Dry-Bulb Temperature	Winter Dry-Bulb Temperature	75 F	
Summer Dry-Bulb Temperature	Maximum Winter Relative Humidity	75 F	
Summer Wet-Bulb Temperature	Summer Dry-Bulb Temperature	75 F	
North Latitude	Summer Relative Humidity	45 to 55%	
Daily Range	Selected Summer Temperature Swing		
Total Estimated Heat Gain	Btuh (From Item A.11 for Entire House)		
Capacity Multiplier Factor	(From Table 3 for Desired Indoor Temperature Swing)		
Equipment Capacity Needed	Btuh (Based upon Standard Rating Conditions as shown in ARI Standards 210 or 230)		
Total Estimated Heat Loss	Btuh		

Equipment Selection	
Gaffers & Sattler	Condensing Unit installed on concrete slab provide
250-1-80 Condult Protected Service	
Gaffers & Sattler	Evaporator Unit provide
	1 P.S. Gas, 3 Prong Elect 110/170, 3/4" P.S. Cond. Drain to Outside. Combustion Air as per local code. Thermostat located at (7) 54" from floor. Calculations based on R-10
	Insulation in Attic R-19
	Insulation in outside walls As Required installed with V.C.D. in Throat. Furnace in Closet
	Walls X
	Deep Minimum Platform in Closet
	High

Calculation of Shaded and Unshaded Areas on Windward Roof Overhang	
a. Direction wall faces	
b. Overhang Dimension (ft)	
c. Shade Line Multiplier (See Table below)	
d. Distance down from bottom edge of overhang that shadow falls (Item b x Item c)	
e. Distance down from bottom edge of overhang to top of window (Dimension 3) (ft)	
f. Shaded height of windows (Item d - Item e)	
g. Unshaded height of windows (Dimension 4 - Item f)	
h. Total width of windows on this wall (ft)	
i. Total shaded glass area (Item f x Item h) sq ft	
j. Total unshaded glass area (Item g x Item h) sq ft	

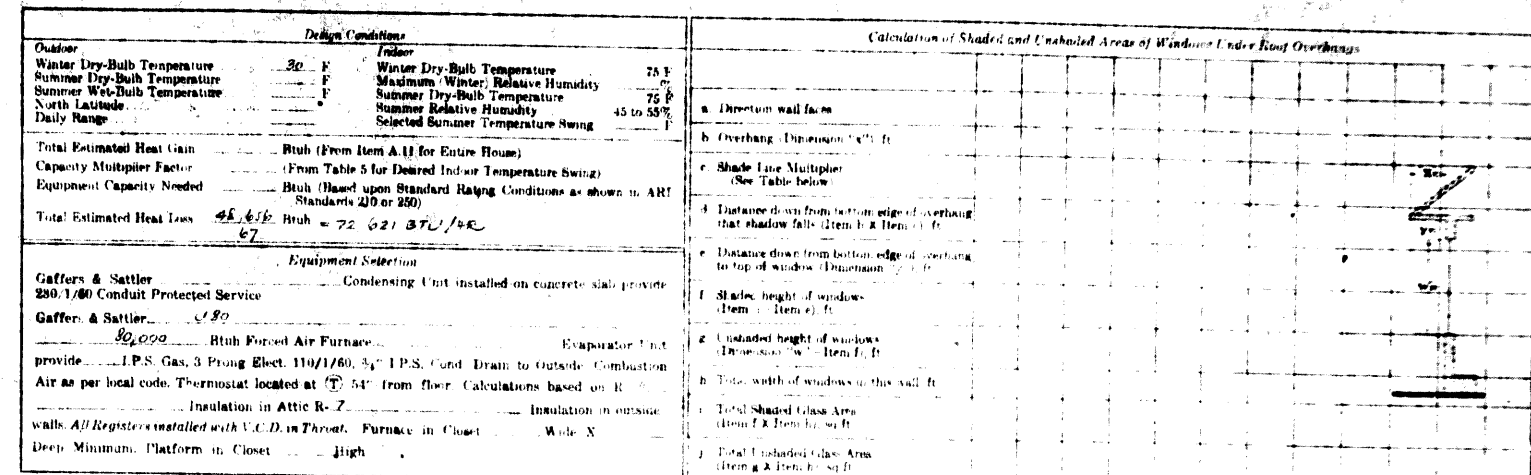
A. HEAT GAIN ESTIMATE											
Dimensions		ENTIRE HOUSE		ONE BEDRM		TWO BEDRM		THREE BEDRM		FOUR BEDRM	
ITEM	Description	Factor	Area	High	Area	High	Area	High	Area	High	Area
1a	Windows (Solar)										
1b	Windows (Air-to-air)										
2	Walls										
3	Doors										
4	Ceilings and Roofs										
5	Floors										
6	Outside Air										
7	People	300									
8	Appliance Allowance		1200								
9	Sub-Total Sens. Heat Gain										
10	Latent Heat Gain										
11	Sub-Total + Item 10										
12	Latent Heat Gain Allowance										
13	Item 11 x 0.3										
14	Total Estimated Heat Gain										
15	Item 13 + Item 14										
16	Air Quantity (cfm)										


B. HEAT LOSS ESTIMATE											
1	Windows	57	570	1850	72	720	72	720	72	720	72
2	Walls	4	400	2160	400	2160	400	2160	400	2160	400
3	Doors	24	240	450	20	450	20	450	20	450	20
4	Ceilings and Roofs	5	650	3350	800	4000	400	2000	400	2000	400
5	Floors	5	5	5	5	5	5	5	5	5	5
6	Outside Air	76	676	3576	72	4776	800	1528	400	1040	400
7	Total Estimated Heat Loss			12,440		14,704		14,704		14,704	

Total Input BTU/Hr	20,736	24,840	29,000	34,000
--------------------	--------	--------	--------	--------

GAFFERS & SATTLER.				NO. DATE BY REVISIONS		PLAN TYPICALS		TRACTS	
4801 S. ALAMEDA ST., LOS ANGELES, CALIF. 90008						LOCATION		PROJECT	
						BLDR NAME		PROJECT	
						ADDRESS		PROJECT	
						HEATING		PROJECT	
						DESIGN BY		PROJECT	
						CHECKED BY		PROJECT	
						DATE		PROJECT	
						SCALE		PROJECT	

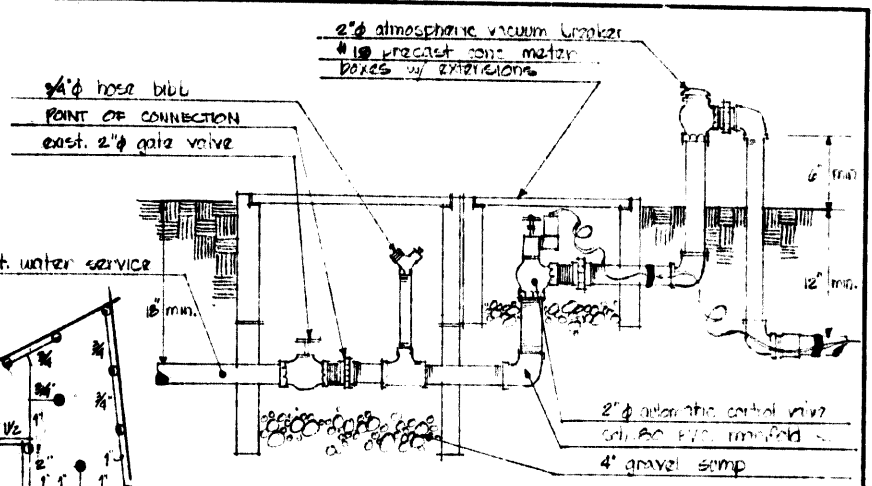
6-8-70
M-3



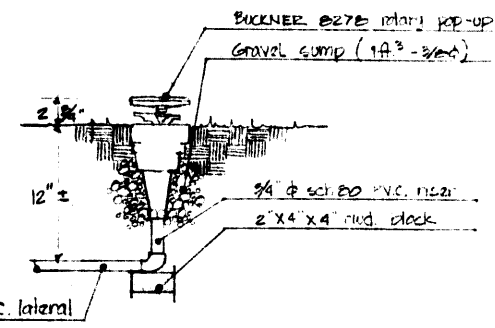
GAFFERS & SATTLER. 4051 S. ALAMEDA ST., LOS ANGELES, CALIFORNIA 90008 	NO.	DATE	BY	REVISIONS	PLAN	TRACE #	
	1				RECREATION ROOMS OFFICE		
	2				LOCATION	PROJECT	
	3				SAN LUIS OBISPO, Calif.		
	4				BLOK NAME	SPROUL HOMES	
	5				ADDRESS	500 So. Main St., Orange, Calif.	
	6					HEATING	
7				DESIGN BY	DATE	BY	PROJECT NO.
				1960	1-75	1-75	

IRRIGATION LEGEND

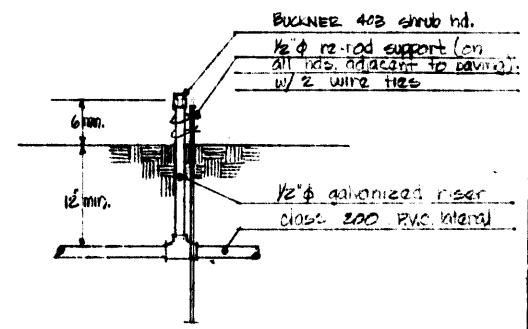
SYMBOL	MANUFACTURER	DESCRIPTION	QTY.	MARKS
• 2" C.	POINT OF CONNECTION	EXIST. 2" gate valve	6	Verify location
• 1/2" H.		3/4" hose bibb	6	see detail
• 1/2" A.	FEBCO 1025 A	2" auto. control valve	32	locate in meter boxes
• 1/2" B.	FEBCO 710 A	2" pressure v. breaker	32	6" above grade
• 1/2" C.	WASCO cl. 200	P.V.C. plastic pipe	•	size as shown
• 1/2" D.	BUCKNER 4035Q	shrub head, quarter	23	6" above grade
• 1/2" E.	BUCKNER 4035H	shrub head, half	46	
• 1/2" F.	BUCKNER 4035Q-O	shrub hd., oversized	40	space all hds. adjacent to paving.
• 1/2" G.	BUCKNER 4035H-O		70	
• 1/2" H.	BUCKNER 4035Q-O	lawn pop-up, oversized	70	
• 1/2" I.	BUCKNER 4035H-O		134	flush w/ grade
• 1/2" J.	BUCKNER 4035F-O	lawn lawn rotary, full part	96	
• 1/2" K.	FEBCO 1025	auto. controller, 4" chase pipe	2	see detail (5/32")
• 1/2" L.	FEBCO 1025 (1-24, 1-2)		•	pedestal mount (east + 12st.)
• 1/2" M.				int. control wires



TYPICAL • VALVE ASSEMBLY DETAIL • no scale



TYPICAL • ROTARY POP-UP • no scale



TYPICAL • SHRUB HEAD DETAIL • no scale

scale 1" = 20'-0" NORTH

NOTES:
DO NOT EXCEED 70% OF THE EFFECTIVE DIAMETER OF THE HEAD - BUCKNER 403 FD 30X30 = 21 FEET TRIANGULAR SPACING

EDWARD C. BARKER
Architect A.I.A.

P.O. BOX 1287
ORANGE, CALIFORNIA 92668

TEXTTEL
INCORPORATED
AREA 716 541-6177

PROJECT
1525 S. ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT
KENNETH K. HAYASHI
Landscape Architect
2442 Fourth Ave.,
San Diego, Calif.

REVISIONS
616 5-12-70

JOB NO. 152 - 3-24-70

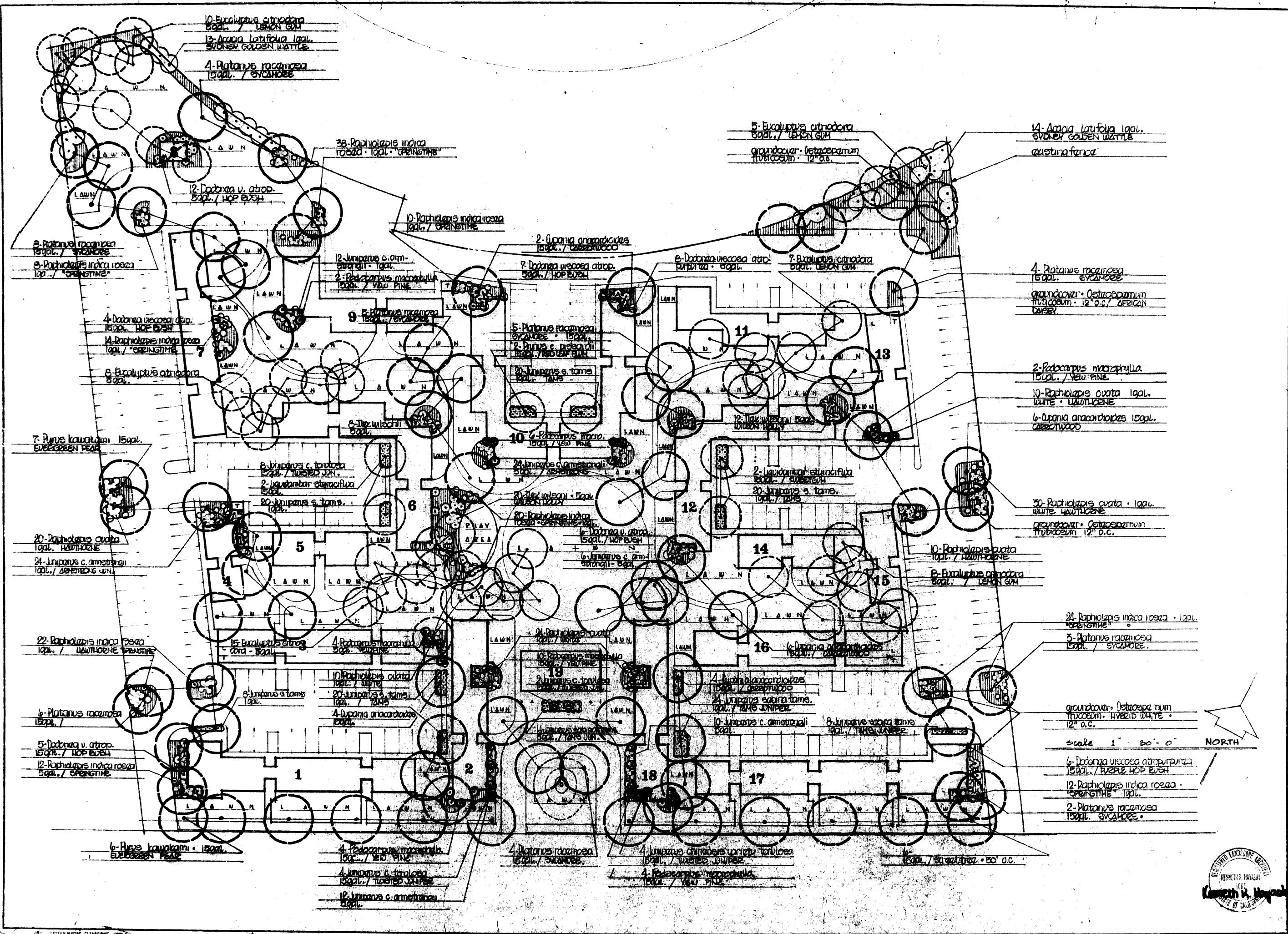
DESIGNED

DRAWN 616

CHECKED

APPROVED

SHEET
1 of 1



EDWARD C BARKER
Architect AIA

P. O. BOX 1257
ORANGE CALIFORNIA 92666

Edward C. Barker
TEXTEL
INCORPORATED
AREA 716 541-6177

SHEET TITLE

PLANTING PLAN

PROJECT
152 - 3-24-70
APARTMENTS

LOCATION
SAN LUIS REISPO
CALIFORNIA

CONSULTANT
KENNETH K. HAYASHI
landscape architect
2442 fourth ave.
san diego, calif.

REVISIONS

46	5.12.70
----	---------

JOB NO. 152 - 3-24-70

DESIGNED *W.H.*

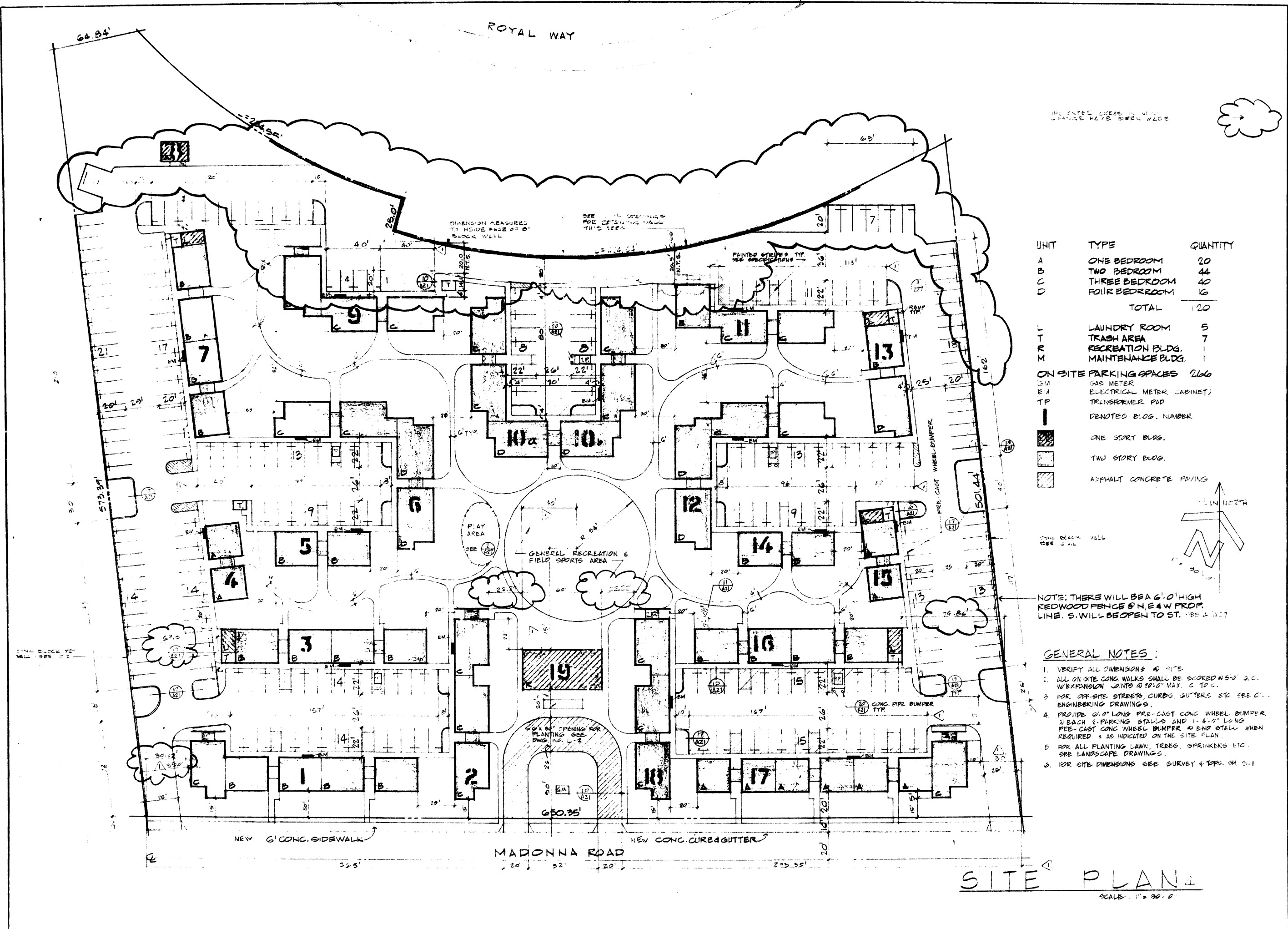
DRAWN *W.H.*

CHECKED

APPROVED

SHEET 2





EDWARD C. BARNETT
Architect
P.O. BOX 1000
ORANGE, CALIFORNIA 92667

TEXTEL
INCORPORATED
AREA 714 941-6111

SHEET TITLE
SITE PLAN

PROJECT
LOS OSOS ROAD
APARTMENTS

LOCATION
SAN JUAN DE LOS RIOS,
CALIFORNIA

CONSULTANT

UNIT	TYPE	QUANTITY
A	ONE BEDROOM	20
B	TWO BEDROOM	44
C	THREE BEDROOM	40
D	FOUR BEDROOM	16
TOTAL		120

L	LAUNDRY ROOM	5
T	TRASH AREA	7
R	RECREATION BLDG.	1
M	MAINTENANCE BLDG.	1

ON SITE PARKING SPACES 2160
G/M GAS METER
E/M ELECTRICAL METER CABINET
TP TRANSFORMER PAD
I DENOTES BLDG. NUMBER

- ONE STORY BLDG.
- TWO STORY BLDG.
- ASPHALT CONCRETE PAVING

NOTE: THERE WILL BE A 6'-0" HIGH REDWOOD FENCE ON N.E. & W. PROP. LINE. S. WILL BE OPEN TO ST. SEE 4-107

- GENERAL NOTES:
1. VERIFY ALL DIMENSIONS & SITE
 2. ALL ON SITE CONC. WALKS SHALL BE SLOPED @ 2% S.C. W/ EXPANSION JOINTS @ 10'-0" MAX. C TO C.
 3. FOR OFF-SITE STREETS, CURBS, GUTTERS ETC SEE CIVIL ENGINEERING DRAWINGS.
 4. PROVIDE 6'-0" LONG PRE-CAST CONC. WHEEL BUMPER BEACH 2-PARKING STALLS AND 1'-6"-0" LONG PRE-CAST CONC. WHEEL BUMPER @ END STALL WHEN REQUIRED & AS INDICATED ON THE SITE PLAN.
 5. FOR ALL PLANTING LAWN, TREES, SPRINKERS ETC. SEE LANDSCAPE DRAWINGS.
 6. FOR SITE DIMENSIONS SEE SURVEY & TOP. SH. 5-1

SITE PLAN
SCALE: 1" = 30'-0"

REVISIONS

JOB NO. 152

DESIGNED W.C.C.

DRAWN W.C.C.

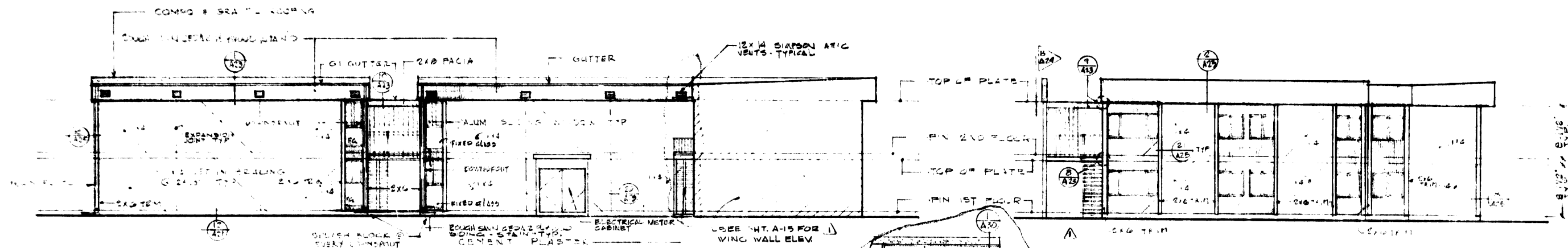
CHECKED

APPROVED

SHEET

A-1X

A-44



NORTH ELEV. - BLDG. NO 9 & 11
 EAST ELEV. - BLDG. NO 10 (OPPOSITE HAND)
 WEST ELEV. - BLDG. NO 10

NOTE:

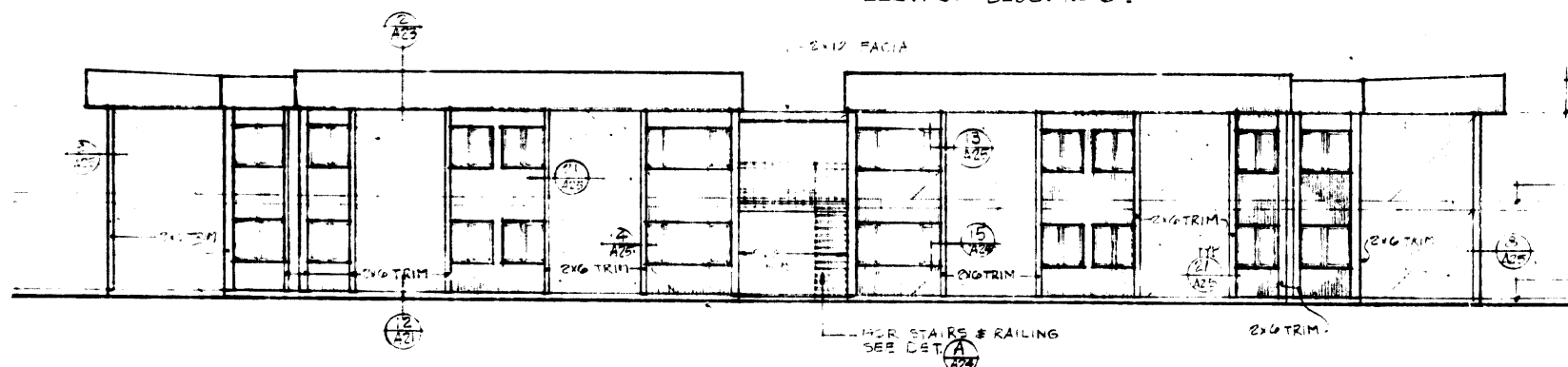
- WEST ELEVATION OF BLDG. NO 10 IS SAME AS NORTH ELEV. OF BLDG. NO 6 (OPPOSITE HAND)
- EAST ELEV. OF BLDG. NO 10 IS SAME AS NORTH ELEV. OF BLDG. NO 6.

PARTIAL EAST ELEV
 BLDG. NO 11

NOTE:

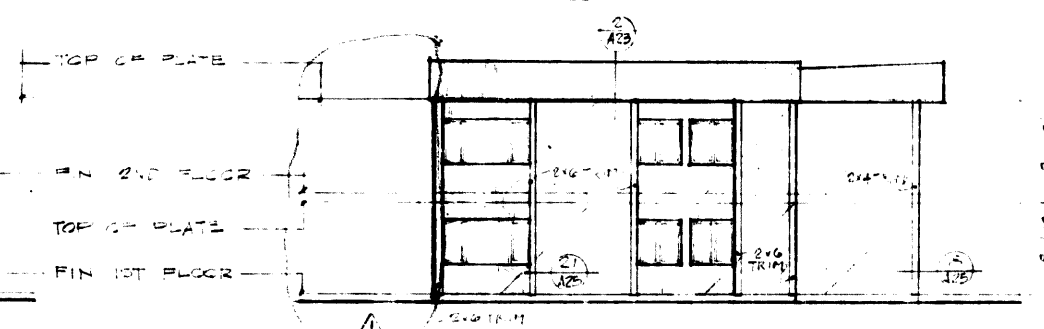
- EAST ELEV. OF BLDG. NO 11 SAME AS SOUTH ELEV. OF BLDG. 2 (OPPOSITE HAND) SHT. A-14
- SOUTH ELEV. OF BLDG. NO 9 SAME AS NORTH ELEV. OF BLDG. NO 6 SHT. A-14
- NORTH PROJECTING END OF BLDG. NO 11 SAME AS NORTH ELEV. OF BLDG. 2, 1/A-15

WEST ELEVATION - BLDG. NO 9

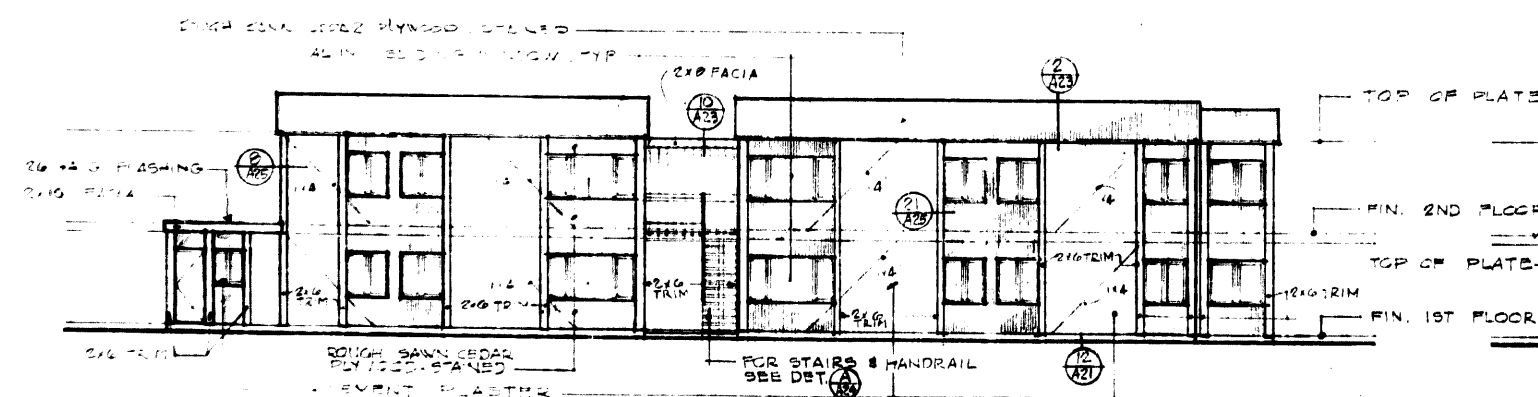


SOUTH ELEVATION - BLDG. NO 10 (2 & b)

SCALE 1/8"=1'-0"

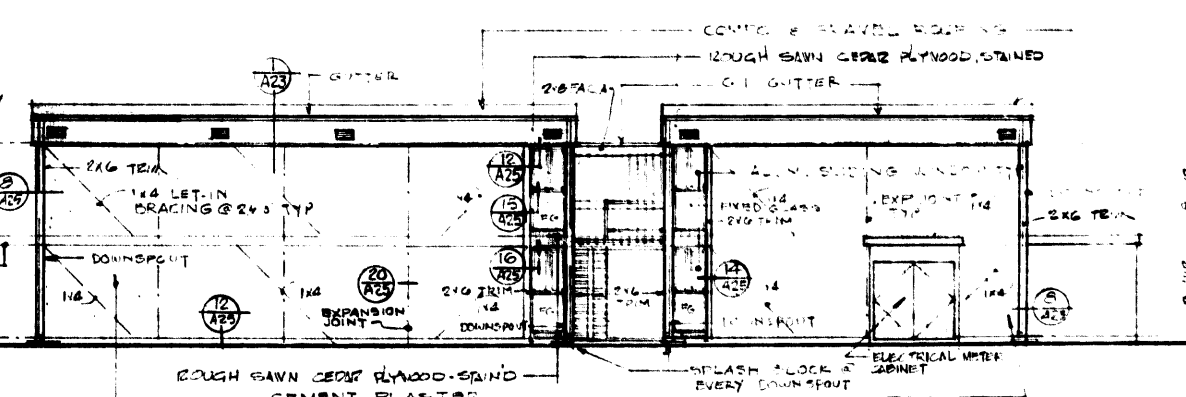


WEST ELEVATION - BLDG. NO 11



WEST ELEVATION - BLDG. NO 13

SCALE 1/8"=1'-0"



EAST ELEVATION - BLDG. NO 13

SCALE 1/8"=1'-0"

NOTE:

- SOUTH ELEV. OF BLDG. NO 13 IS SAME AS SOUTH ELEV. OF BLDG. NO 2 (OPPOSITE HAND)
- NORTH ELEV. OF BLDG. NO 13 SAME AS WEST ELEV. OF BLDG. 3 (OPPOSITE HAND)

EDWARD C. BARBER
 Architect AIA

P.O. BOX 1267
 ORANGE, CALIFORNIA 92668

TEXTTEL
 INCORPORATED
 AREA 718 561-8177

SHEET TITLE

ELEVATIONS

PROJECT
 LOS OSOS ROAD
 APARTMENTS

LOCATION
 SAN LUIS
 OBISPO CALIF.

CONSULTANT

REVISIONS
 CHANGE 0-3-70

JOB NO. 2-70

DESIGNED
 E.C.B.

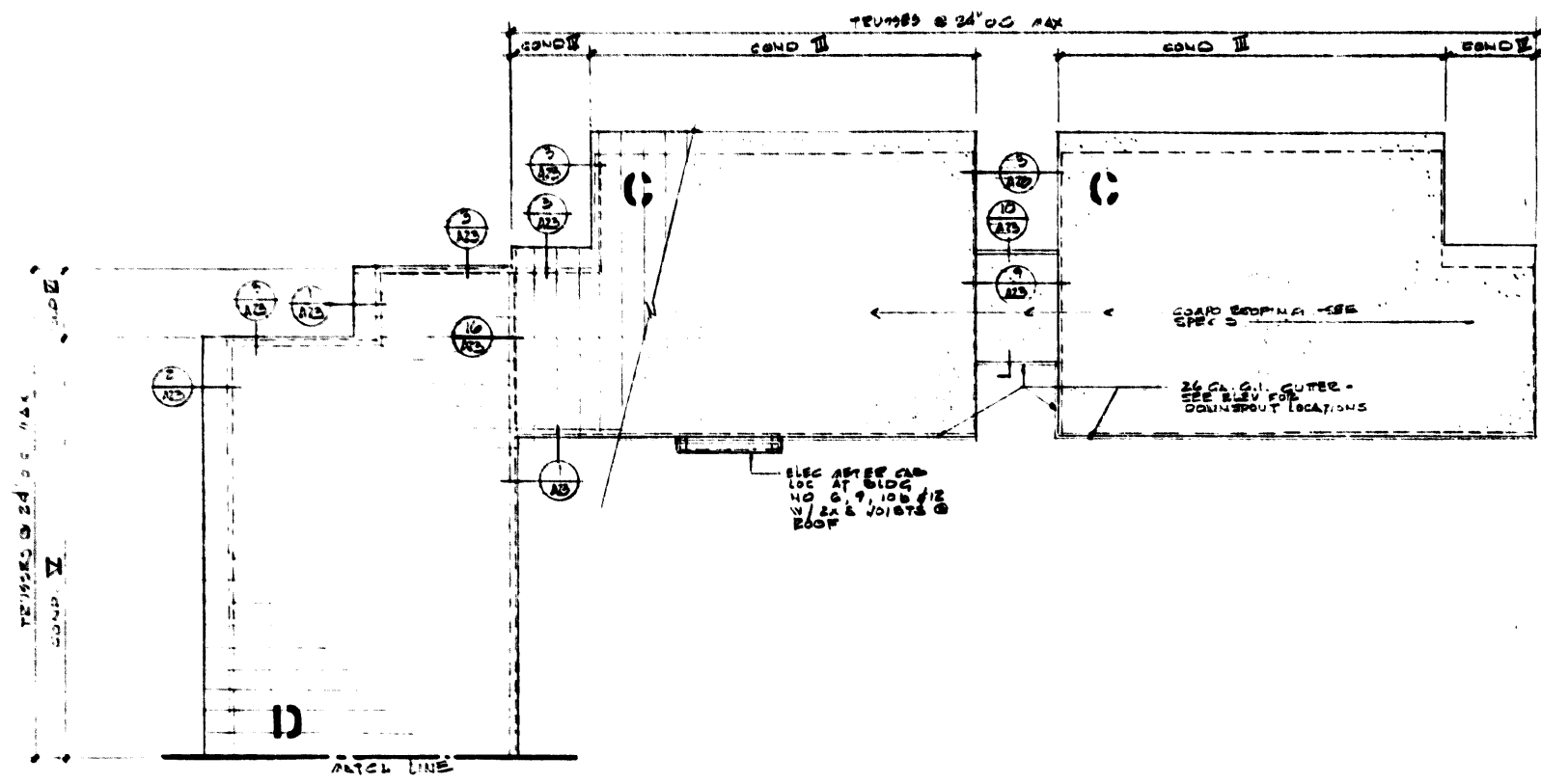
DRAWN
 E.C.B.

CHECKED

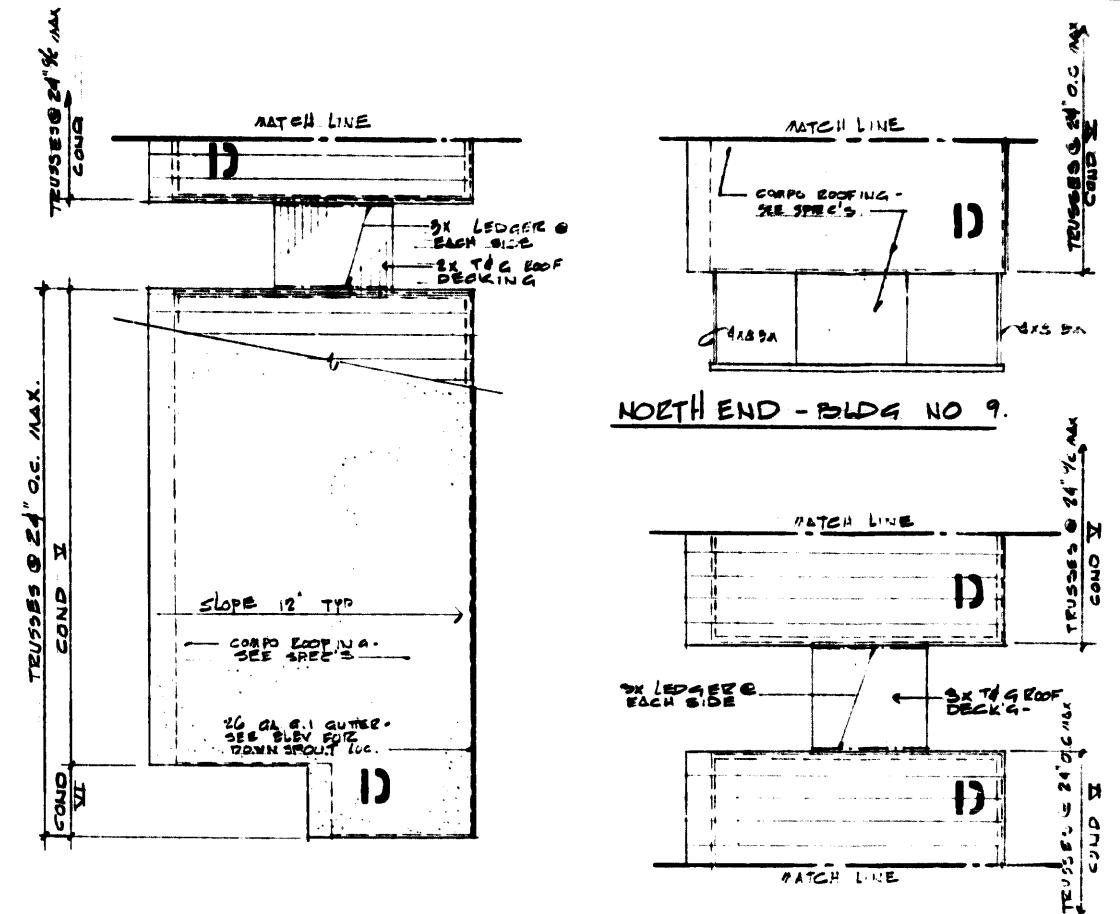
APPROVED

SHEET

A-18

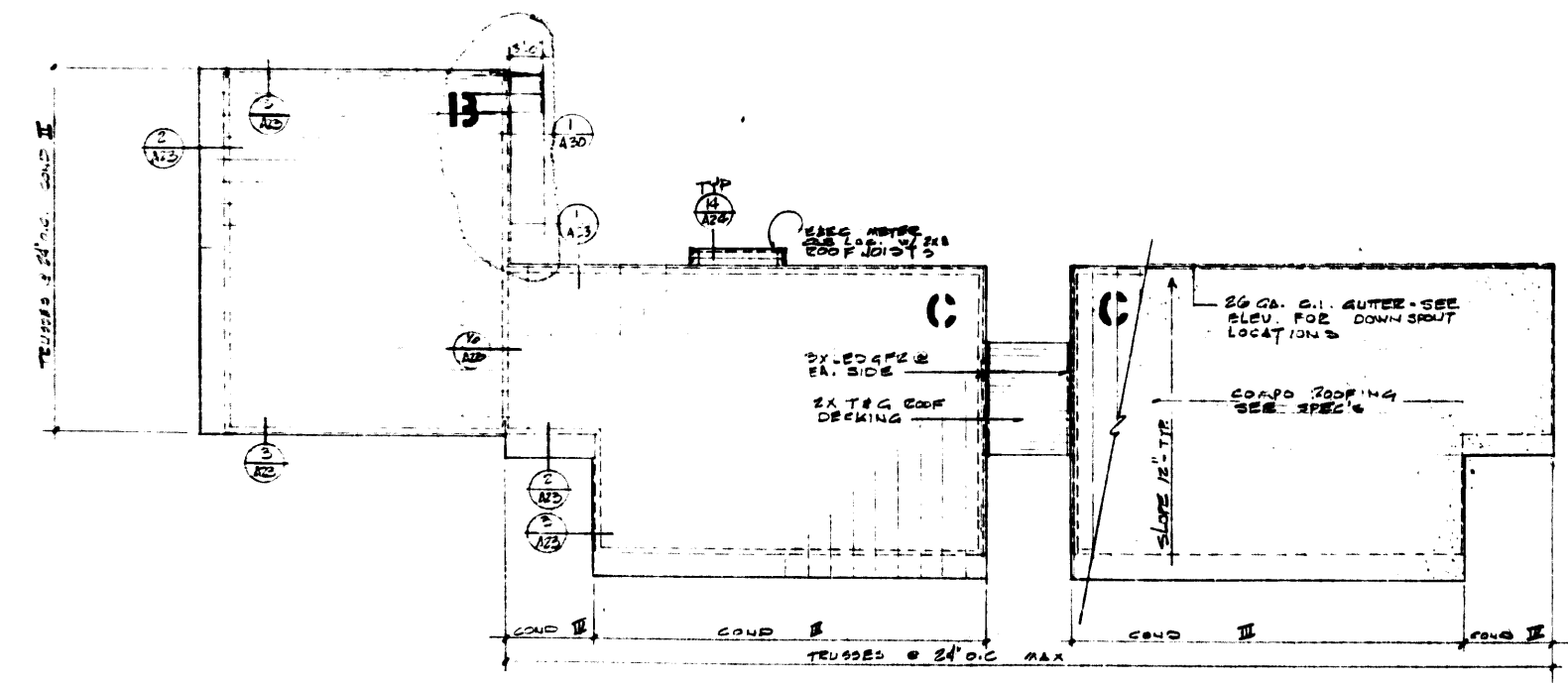


ROOF FRAMING PLAN & ROOF PLAN - 1/8" = 1'-0" - BUILDING NO. 6, 9, 10a, 10b & 12



SOUTH SIDE BLDG. NO. 6 & 12

CENTRAL SECTION BETWEEN BUILDING 10a & 10b



POWELL WAY

[8]

1 1/2" W/BACK HYDRANT OR EQUIV. LNT.
2" APPLIED BY FIRE CHIEF

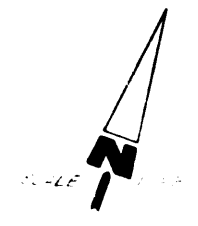
ALL HYDRANTS SHOWN ARE TO BE INSTALLED
* OPERABLE PRIOR TO BLDG. CONSTRUCTION
B. CURB SECTION 5' 6" IN LENGTH ADJACENT TO
ALL HYDRANTS ARE TO BE PAINTED RED W/REFLECTANT, ALL-
WEATHER SIGNS POSTED AT HYDRANTS TO READ,
UNAUTHORIZED VEHICLES TOWED AWAY
AT OWNER'S EXPENSE. A270.3 A.C.,
22608 V.C., SLO.P.D. PHONE 545-3311

Edward A. Clark
2/21/70

COLD WATER
DISTRIBUTION PLAN

3/5/70
APPROVED

ALL HYDRANTS SHOWN ARE TO BE INSTALLED
* OPERABLE PRIOR TO BLDG. CONSTRUCTION
B. CURB SECTION 5' 6" IN LENGTH ADJACENT TO
ALL HYDRANTS ARE TO BE PAINTED RED W/REFLECTANT, ALL-
WEATHER SIGNS POSTED AT HYDRANTS TO READ,
UNAUTHORIZED VEHICLES TOWED AWAY
AT OWNER'S EXPENSE. A270.3 A.C.,
22608 V.C., SLO.P.D. PHONE 545-3311



ALL HYDRANTS SHOWN ARE TO BE INSTALLED
* OPERABLE PRIOR TO BLDG. CONSTRUCTION
B. CURB SECTION 5' 6" IN LENGTH ADJACENT TO
ALL HYDRANTS ARE TO BE PAINTED RED W/REFLECTANT, ALL-
WEATHER SIGNS POSTED AT HYDRANTS TO READ,
UNAUTHORIZED VEHICLES TOWED AWAY
AT OWNER'S EXPENSE. A270.3 A.C.,
22608 V.C., SLO.P.D. PHONE 545-3311

3" BULK. OFF.
PER TRACT NO.
393 CONST.
PLANS

12" C.I. WATER MAIN
PER TRACT NO. 393 CONST. PLANS

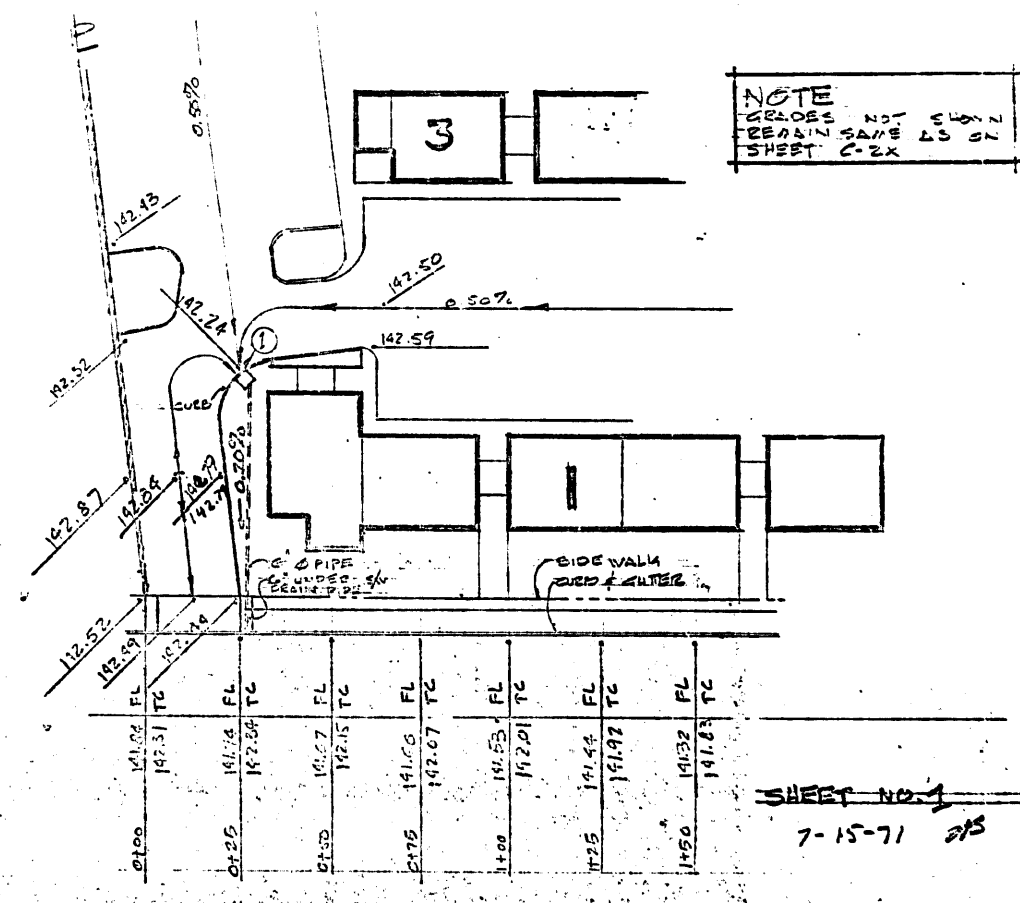
STREET IMP. PER TRACT NO. 393 CONST. PLANS
MADONNA ROAD

FILE HYDRANT
ASSEMBLY PER
TRACT NO. 393
CONST. PLANS

WATER METER
CHARLES E. JONES
VALVE PER TRACT NO. 393

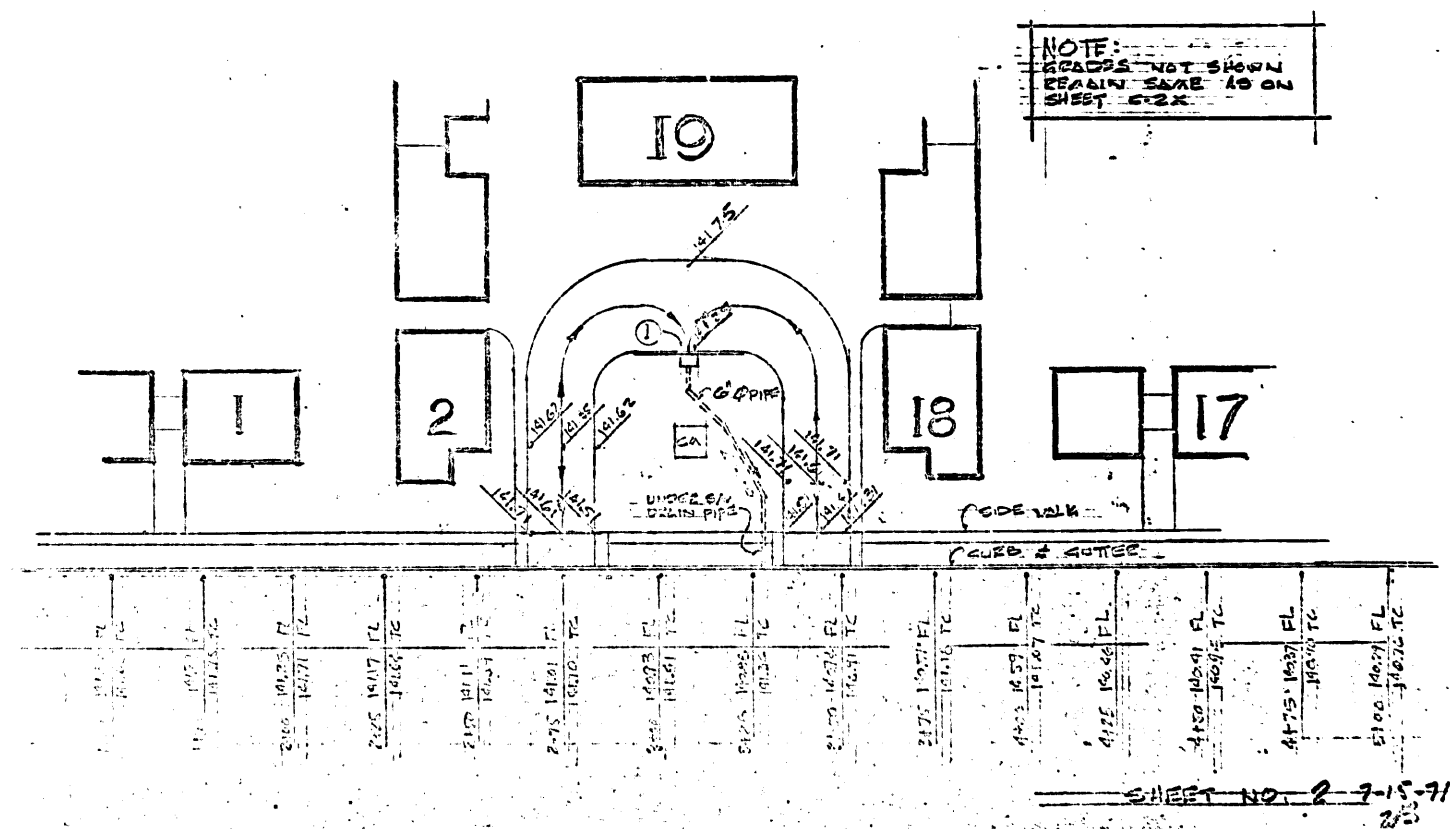
COLD WATER DISTRIBUTION PLAN

5-8-70
C-IX



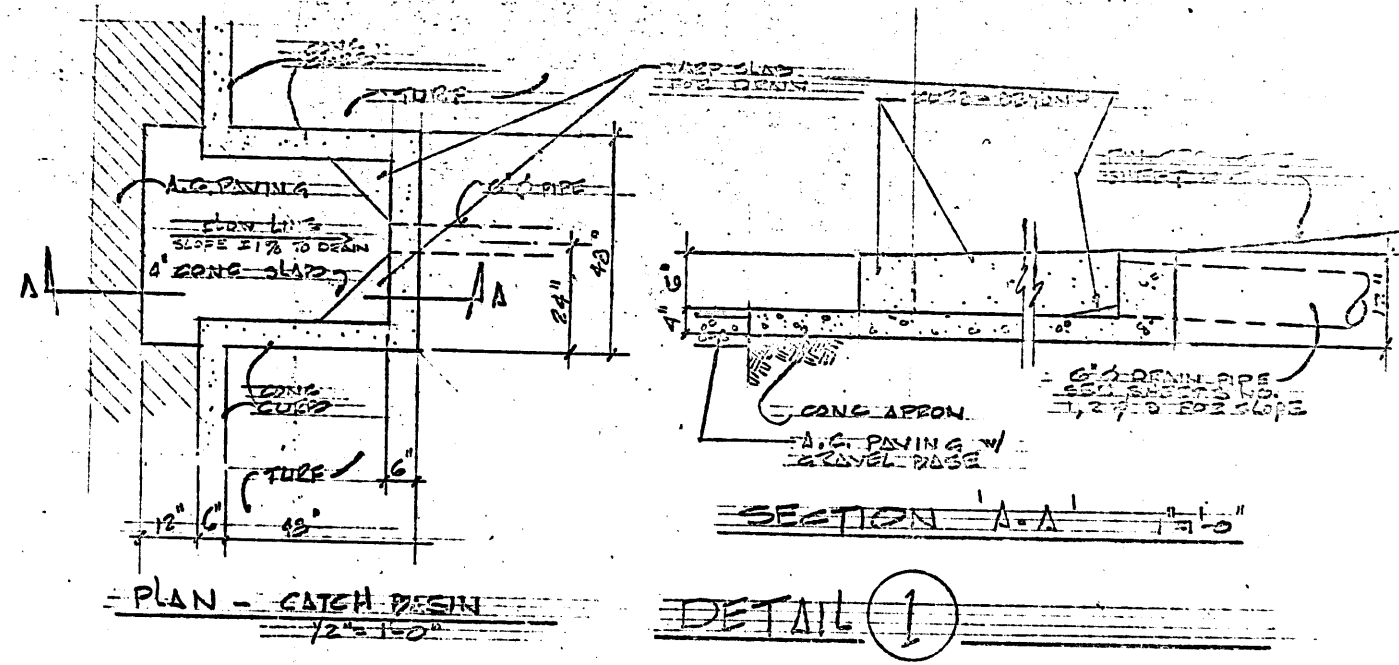
NOTE
 RECORDS NOT
 RECORDED
 SHEET C-2X 63 012

SHEET NO. 1
 7-15-71 215





7-15-71
25



SHEET NO. 4 7-15-71
 83

SANITARY SEWER PLAN

1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE CITY OF SAN LUIS OBISPO.
2. THE CONSTRUCTION OF HOUSE LATERALS COVERED BY THIS PLAN IS TO A POINT 5 FEET FROM THE BUILDING.
3. SEE MECHANICAL DRAWINGS FOR SIZE AND CONNECTION TO EACH BUILDING.

EDWARD C. BARKER
ATTORNEY AT LAW
P.O. BOX 1209
ORANGE, CALIFORNIA 92667
Edward C. Barker
ORR
TEXTEL
INCORPORATED
AR 8-714 SEX 077

SHEET TITLE:
SANITARY SEWER PLAN

PROJECT
LOS OSOS 2040
APARTMENTS

LOCATION
SAN JUAN DE LOS RIOS,
CALIFORNIA

TRI-STATE ENGINEERING CO.
615 SOUTH RAYMOND AVENUE
FULLERTON, CALIF. 92631
PHONE AREA 714-871-8882

NOTE: SEE CITY OF SAN LUIS OBISPO, LYNNE SUBDIVISION, TRACT NO. 393 IMPROVEMENT PLANS AND CONSTRUCTION DRAWINGS FOR GRADING IMPROVEMENTS AND CONSTRUCTION DETAILS TO THE NORTH, SOUTH AND EAST OF PROPERTY LINES AS SHOWN ON THIS PLAN.

SCALE: 1" = 30'

THE EXISTENCE AND APPROXIMATE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY A SEARCH OF THE AVAILABLE PUBLIC RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UNDERGROUND UTILITIES OR STRUCTURES EXCEPT AS SHOWN ON THIS MAP.

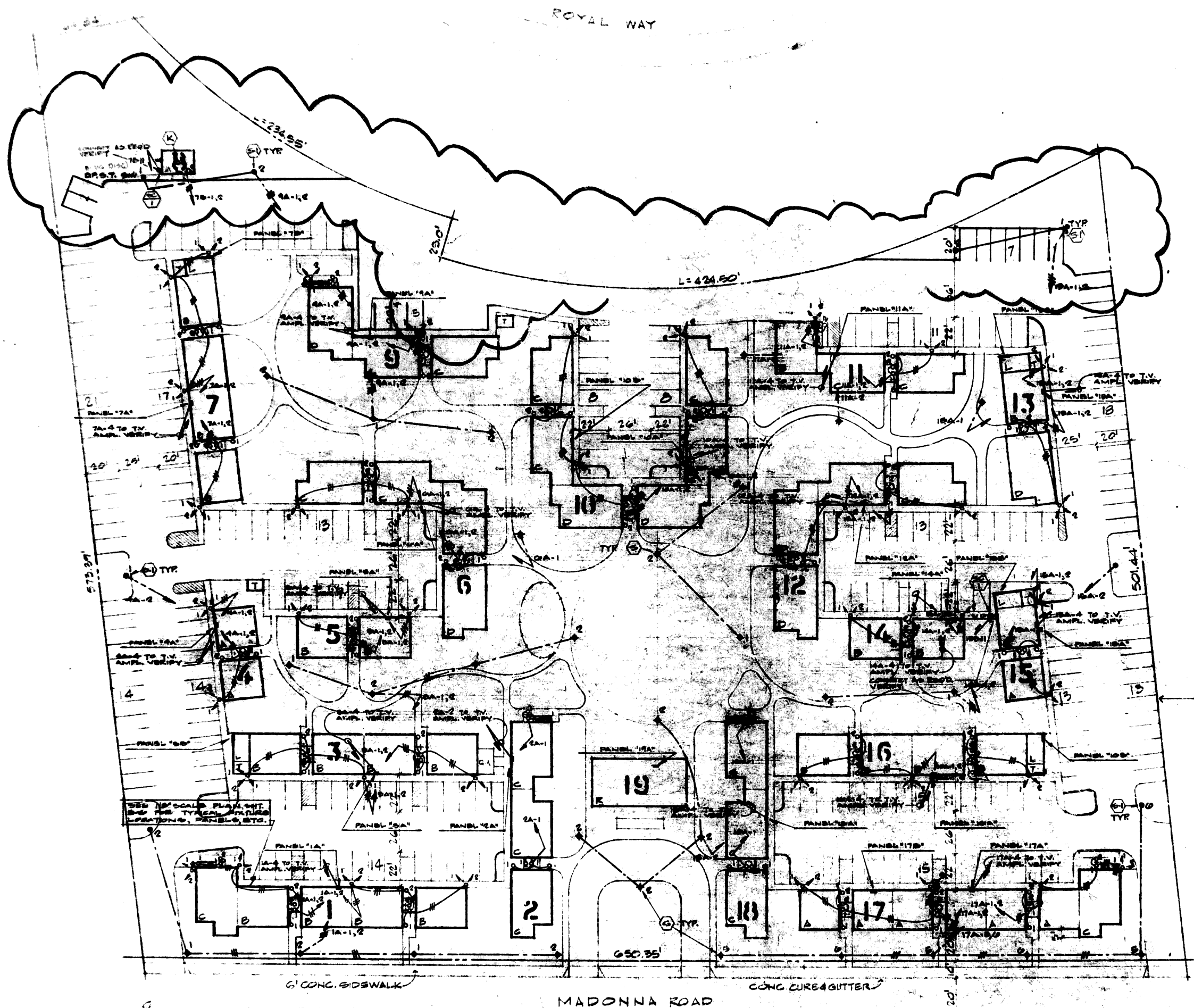
THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN. HE SHALL BEAR THE ENTIRE RESPONSIBILITY FOR THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

REVISIONS

4/12/70 - 1ST PULP IN SUB - TEXTURE
4/15/70 - PLAN F ELEM. PER GRADUATION
PLAN F LINE LOC. FOR PITCH
CHANGE F TEXT. CHECKPOINT
OF 4-4-70. 2ND PULP SUB
TO TEXT.

4/14/70 - 1ST PULP FOR ALL GRADUATION
4/15/70 - GEN. REV. PER. TEXT.,
F & F COTY CHECK POINTS.
7AD. FEEL SUB - TEXTURE FOR
5/15/70 ADDED F LINES PER
A. PAUL. COTY'S DRIFT.

C - 3x



UNIT	TYPE	QUANTITY
1	ONE BEDROOM	20
2	TWO BEDROOM	44
3	THREE BEDROOM	42
4	FOUR BEDROOM	3
TOTAL		110
5	LAUNDRY ROOM	5
6	TRASH AREA	7
7	RECREATION BLDG.	1
8	MAINTENANCE BLDG.	1
ON SITE PARKING SPACES		200
9	GAS METER	

NOTE: THERE WILL BE A 6.0' HIGH REDWOOD FENCE S.N.E.W. PROP. LINE. S.W. WILL BE OPEN TO ST.

NOTE:
VERIFY FIXTURE MOUNTING HEIGHTS AND EXACT LOCATIONS WITH LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATIONS. ALL BUILDING FLOODLIGHTS AS DIRECTED BY OWNER AND/OR LANDSCAPE ARCHITECT.

- NOTES
- ELECTRICAL DRAWINGS ARE TO BE USED FOR INSTALLATION OF ELECTRICAL EQUIPMENT AND SYSTEMS ONLY. DIMENSIONS AND LOCATIONS OF OTHER EQUIPMENT AND ITEMS SUCH AS RADS, ENCLOSURES, STRUCTURES, FANS, DUCTS, ETC., ARE SHOWN ON ARCHITECTURAL AND OTHER DRAWINGS.
 - ELECTRICAL CONTRACTOR TO VERIFY ALL DIMENSIONS.

LIGHTING PLAN

TEXTTEL
INCORPORATED
AREA 116

LIGHTING PLAN

PROJECT
LOS 0405 ROAD
APARTMENTS

LOCATION
SAN LUIS OBISPO,
CALIFORNIA

CONSULTANT
DITOMASO & ASSOCIATES, INC.
CONSULTING ENGINEERS
7055 HASKELL AVENUE
SAN LUIS OBISPO, CALIF. 93401
(415) 755-7777
(415) 755-7777

REVISIONS

JOB NO.
192

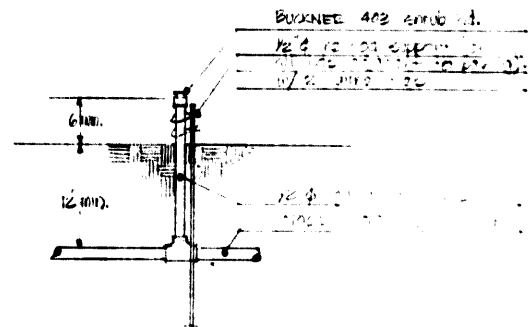
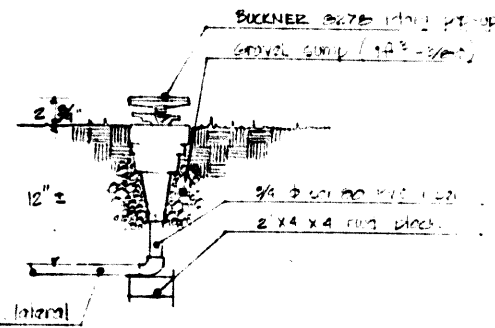
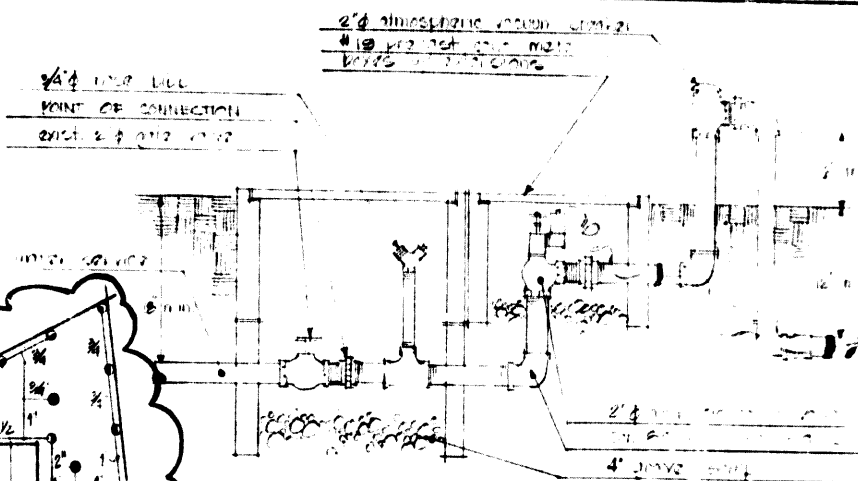
DESIGNED
R.A.R.

DRAWN
M.N.

CHECKED
V.A.D.

APPROVED

SHEET
E-7X
OF 13

[illegible]

TYPICAL • SHRUB HEAD

Scale 1" = 30' - 0" NORTH

NOTES:

1. DO NOT EXCEED 70% OF THE EFFECTIVE
DIAMETER OF THE HEAD - DUCKWEZ
405 FO 30X70 = 21 FEET
TRIANGULAR SPACING

FORWARD - BACKWARD
 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1

TEXTTEL
INCORPORATED

WORK TITLE

PROJECT
DEPT. OF COM.
DEPARTMENTS

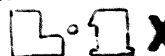
LOCATION
SAN LUIS OBISPO
CALIFORNIA

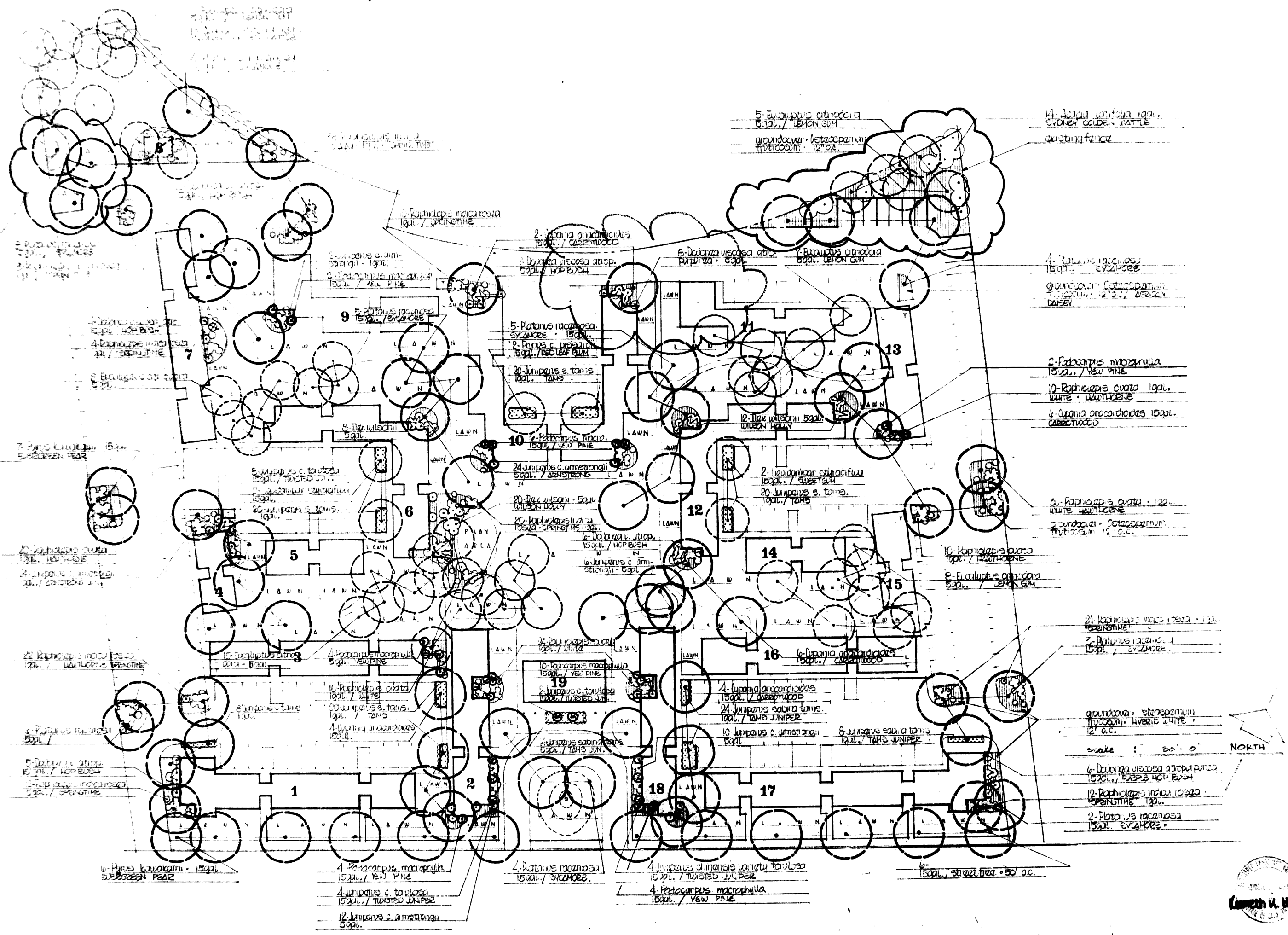
CONSULTANT
KENNETH C. LAYBURN
2075 Maple Street
2442 West 2nd St.
San Francisco, Calif.

REVISIONS
66 5-12-70

152 - 1.24.7

APPENDIX I

SHIFT



PLANTING PLAN

PROJECT
APARTMENTS

LOCATION
SAN LUIS OBISPO
CALIFORNIA

CONSULTANT
KENNETH A. HAYASHI
LANDSCAPE ARCHITECT
2044 W. MONTEZUMA AVE.
SAN LUIS OBISPO, CALIF.

REVISIONS
NO. 5-12-70

DATE
10-2-71

APPROVED
DATE
10-2-71

Kenneth A. Hayashi

10-2-71